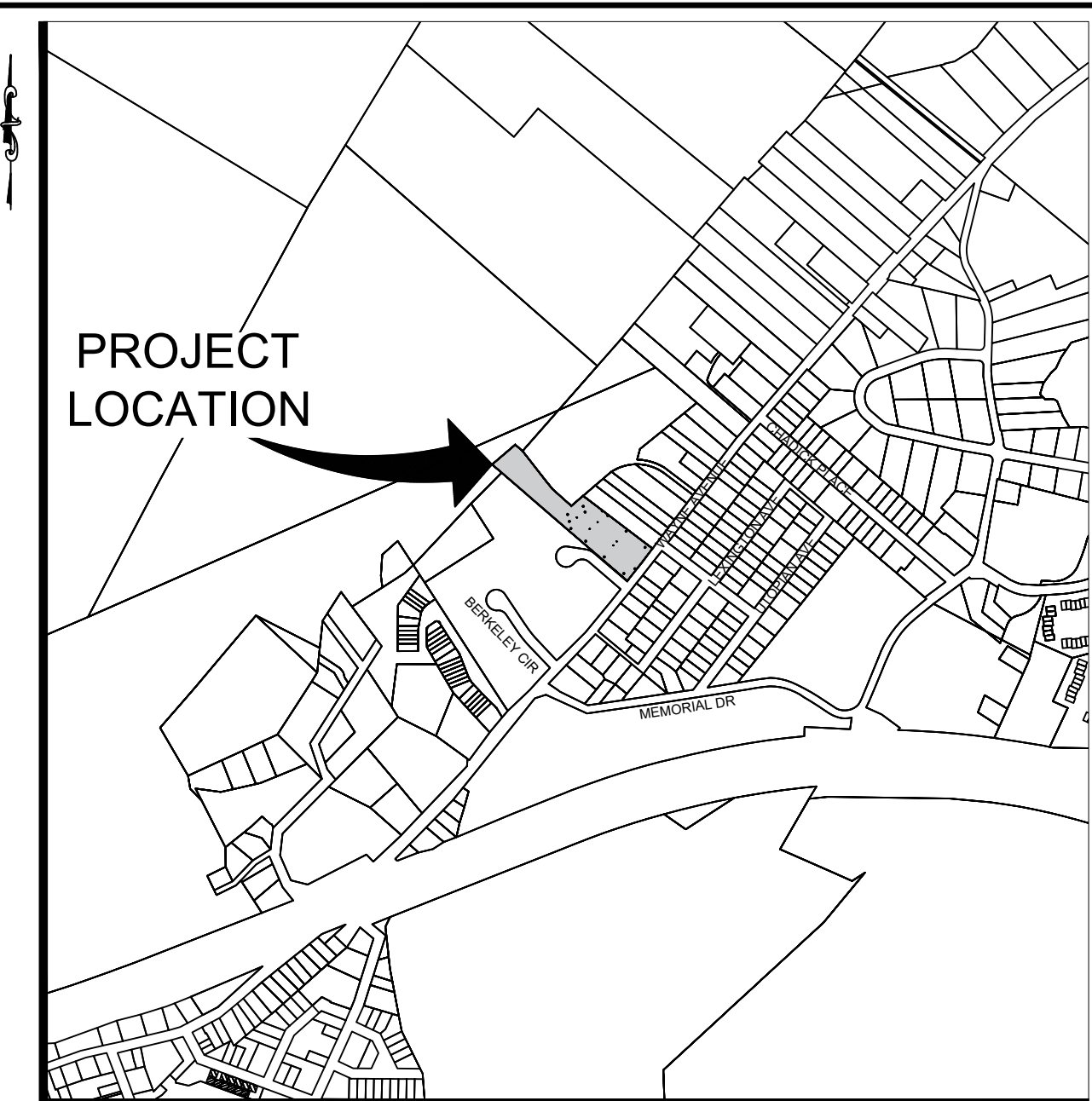
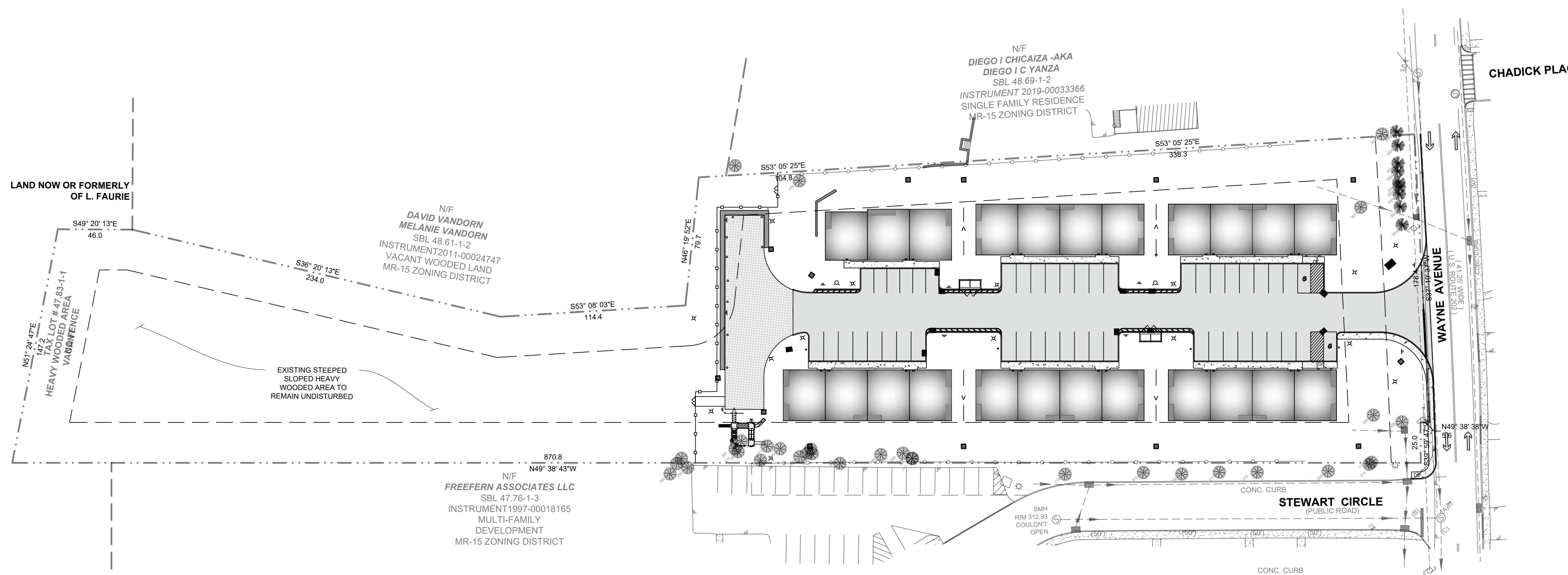


# SITE PLAN PREPARED FOR WAYNE AVENUE LOW RISE TOWNHOUSES



**VICINITY MAP**  
SCALE - 1" = 800'

PROJECT DATA	
ADDRESS:	156-160 WAYNE AVENUE, SUFFERN, NEW YORK 10901
ZONING DISTRICT	MR-15 - MULTIPLE DWELLING (LOW RISE) - TOWNHOUSES
PARCEL	48.69-1
BLOCK	1.1.1 & 1.2
USE	RESIDENTIAL
OCCUPANCY	R-2
LOT AREA	132,177.54 SQ. FT. ±

PROPOSED PARKING	
PROPOSED/ PROVIDED	48 TOTAL PARKING SPACES STANDARD SPACES = 40 SPACES COMPACT CARS SPACES = 6 SPACES ADA SPACES = 2 SPACES ADA AISLE = 2 AISLES
	(9'-0" x 18'-0") (8'-0" x 15'-0") (8'-0" x 18'-0") (8'-0" x 18'-0")

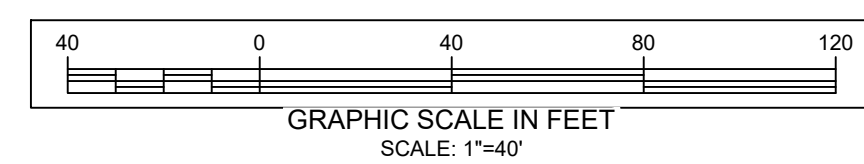
DEVELOPMENT CONSTRAINTS ANALYSIS (CODE § 266-15)			
DEVELOPMENT CONSTRAINT	EXISTING LOT SQ. FT.	% OF REDUCTION	S.F. OF REDUCTION
AREA WITHIN A DESIGNATED STREET LINE	4,864.0± SQ. FT.	50% REDUCTION	2,432.0± S.F.
0%-30% SLOPES	106,865.64± S.F.	0% REDUCTION	0.0± S.F.
30%-50% SLOPES	21,326.69± S.F.	50% REDUCTION OF DISTURBED AREA (1,291± S.F.)	645.5± S.F.
50%-100% SLOPES	3,985.21 S.F.	100% REDUCTION	3,985.21 S.F.
TOTAL S.F. REDUCTION			7,062.71± S.F.
TOTAL LOT AREA			132,177.54± S.F.
TOTAL LOT AREA AFTER REDUCTION			125,114.3± S.F.

NOTE: NO BEDROCK FOUND ON SITE

- GENERAL NOTES:**
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
  - NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED. APPROVALS INCLUDES BUT NOT LIMITED TO THE FOLLOWING:
    - VILLAGE OF SUFFERN PLANNING BOARD AND DEPARTMENT OF PUBLIC WORKS AND CODE ENFORCEMENT OFFICER.
    - NYSDEC - FOR TIMBER RATTLESNAKES JURISDICTION DETERMINATION.
    - NYSDEC - (SPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY.
    - NYSDOT - MINOR COMMERCIAL DRIVEWAY PERMIT AND HIGHWAY WORK PERMIT.
  - GAS, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
  - TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
  - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTION TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
  - THESE PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS, NO EXPLORATORY OR TESTING SERVICE, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, HAZARDOUS, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE ENDORSED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
  - THE CONTRACTOR IS RESPONSIBLE ALL FOR SITE SAFETY, INCLUDING OF ALL APPROPRIATE PERSONNEL PROTECTIVE EQUIPMENT REQUIRED CREW EQUIPMENT, TRAINING AND CERTIFICATIONS AS REQUIRED BY ALL LOCAL, STATE AND FEDERAL AUTHORITIES.
  - NEITHER THE PROFESSIONAL ACTIVITIES OF THE PROJECT DESIGN ENGINEER NOR THE PRESENCE OF THEIR REPRESENTATIVES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE OWNER, GENERAL CONTRACTOR OR SUBCONTRACTORS DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO CONSTRUCTION MEANS AND METHODS, SCHEDULES, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES DESIGN ENGINEER AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SECURITY AND SAFETY DESIGN ENGINEER SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AS ADDITIONALLY INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
  - IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
  - ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED BEFORE SEEDING.
  - THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER AND AT LEAST EIGHTEEN (18") INCHES IN LENGTH, INSTALLED AFTER FINAL GRADING.
  - SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH VILLAGE OF SUFFERN SPECIFICATIONS, WHERE AND IF REQUIRED.
  - TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED, AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR OTHER SUITABLE MATERIAL. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
  - ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDDED WITH 12 lb OF RYE GRASS OR MULCHED WITH 100 lbs OF STRAW OR HAY PER 1,000 SQUARE-FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY INSTALLING THE BASE COURSE.
  - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
  - AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
  - THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

## COVER SHEET

SCALE - 1" = 40'



**LEGEND:**

	EX. PROPERTY LINE
	EX. UTILITY POLE
	EX. WIRE OVERHEAD
	EX. CHAIN LINK FENCE
	EX. CONTOUR, MAJOR
	EX. CONTOUR, MINOR
	PR. CURB
	PR. SIDEWALK
	PR. DRIVEWAY
	PR. BUILDING
	PR. DECK
	PR. BLDG ENTRANCE
	PR. RAILING
	PR. CONTOUR
	PR. SPOT ELEVATION
	PR. CBCP-CATCH BASIN CURB
	PR. CLEAN OUT
	PR. CURB VALVE
	PR. SETBACKS
	PR. CLEAR YARD
	PR. TREE
	PR. GARBAGE ENCLOSURE
	PR. EV STATION

**OWNER/APPLICANT:**  
SCOEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952  
929-900-2387

**ARCHITECT/PLANNER:**  
PETER F. GAITO & ASSOCIATES  
102 WALLER AVENUE  
WHITE PLAINS, NY 10605  
914-682-3381 X109  
PFGA.NET

**ATTORNEY:**  
DANIEL M. RICHMOND, ESQ.  
ZARIN & STEINMETZ, LLP  
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WHITE PLAINS, NY 10601  
(914) 220-9792  
DMRICHMOND@ZARIN-STEINMETZ.COM  
WWW.ZARIN-STEINMETZ.COM

**SITE ENGINEER:**  
MICHAEL J. CALISE, P.E.  
C&J CONSULTING ENGINEERS, D.P.C.  
35 GOSHEN TPK  
BLOOMINGBURG, NY 12721  
845-458-1585

**LAND SURVEYOR:**  
JOHN W. MCCORD, SR.  
CLEARPOINT SURVEYING, DPC.  
17 SAINT JOHN STREET,  
MONTICELLO, NY 12701  
SURVEY DATE: 07-22-2025

PROJECT SHEET INDEX		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
01	C01	COVER SHEET
02	C02	SITE PLAN
03	C03	GRADING PLAN
04	C04	UTILITY PLAN
05	C05	STORM DRAIN SYSTEM PLAN
06	C06	ROAD PROFILE
07	C07	STORM DRAIN PROFILE
08	C08	STORM DRAIN PROFILE
09	C09	SEWER PROFILE
10	C10	EROSION CONTROL PLAN
11	C11	TRUCK TURNAROUND
12	C12	CONSTRUCTION DETAILS
13	C13	DETAILS
14	C14	DETAILS
15	C15	EXISTING PLAN

ZONING ANALYSIS			
SCHEDULE OF DIMENSIONAL REGULATIONS	REQUIRES	PROPOSED	VARIANCE REQUIRED
MINIMUM LOT AREA (SQ. FT.)	(AS PER CODE § 266-23)	125,114.3± S.F.	NO
NOTES: 1. SEE REDUCTION ANALYSIS CHART FOR MORE INFORMATION 2. SEE UNITS CHART FOR MORE INFORMATION	40,000 S.Q. PLUS THE FOLLOWING MINIMUM AREAS: (3,700 X 23 BED+85,100) (4,200 PER THREE BEDROOM) + MINIMUM LOT AREA	40,000 S.Q., PLUS THE FOLLOWING (PAVEMENT/CURBS) = 228 (RETAINING WALL) + 834 (NEW PLAYGROUND) /132,177 (LOT AREA)=29.95%	NO
MINIMUM LOT WIDTH (FEET)	100'-0"	203'-6"	NO
MAXIMUM DEVELOPMENT COVERAGE (%)	30%	29.95% (BUILDING) + 2,148 SF (SIDEWALK) + 18,302 (PAVEMENT/CURBS) = 228 (RETAINING WALL) + 834 (NEW PLAYGROUND) /132,177 (LOT AREA)=29.95%	NO
MINIMUM FRONT YARD	25'-0"	25'-3/29'-0"	NO
MINIMUM SIDE YARD (FEET)	25'-0"	25'-0"	NO
MINIMUM TOTAL SIDE YARD (FEET)	50'-0"	N/A	NO
MINIMUM REAR YARD (FEET)	30'-0"	70'-9"/476'-5"	NO
MINIMUM OFF-STREET PARKING FOR SIDE & REAR YARDS	5'-0"	61'-0"	NO
MAXIMUM HEIGHT (STORIES/FEET)	2-1/2 STORIES (35'-0")	2 STORIES (24'-6")	NO
MINIMUM OFF-STREET PARKING (LOW-RISE MULTIPLE DWELLING: 2 SPACES PER DWELLING UNIT, PLUS 1 SPACE PER BEDROOM FOR UNITS WITH 3 OR MORE BEDROOMS)	(23) 2 BEDROOM + 2 SPACES = 46 PARKING SPACES	48 PARKING (INCLUDING 2 HANDICAP AND 2 GUEST PARKING)	NO

DWELLING UNIT CHART		
TOTAL DWELLING UNITS	UNIT TYPE	SQ. FT PER UNIT
22	ATTACHED DWELLING UNIT (TOWNHOUSES)	1620
1	ATTACHED DWELLING UNIT (TOWNHOUSE)	1554

**SURVEY REFERENCE:**  
OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 156, 158 & 160 WAYNE AVENUE SECTION 48.69 BLOCK 1 LOT 1 SECTION 48.69 BLOCK 1 LOTS 1.1 & 1.2 SITUATED IN THE VILLAGE OF SUFFERN, TOWN OF RAMAPO, ROCKLAND COUNTY, NEW YORK  
PREPARED BY: JOHN W. MCCORD, SR. LICENSE #050904 DATED: 07/22/2025

#	DATE	ISSUED
3	03/31/2026	REVISED PER PB
2	01/07/2026	REVISED PER PB
1	10/31/2025	REVISED PER PB
#	DATE	REVISION

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**PROGRESS PRINT FOR BOARD REVIEW ONLY**  
03/31/2026

MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO. 074611

**C&J Consulting Engineers, D.P.C.**

Michael J. Calise, P.E., Principal

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845-458-1585  
cjconsultingengineers35@gmail.com

CLIENT/APPLICANT:  
SCOEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

OWNER:  
SCOEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

SHEET TITLE:  
**COVER SHEET**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
**SCOEN BROOKLYN LLC**

LOCATION:  
**156-160 WAYNE AVENUE, SUFFERN, NY 10901**

JURISDICTION:  
**VILLAGE OF SUFFERN TOWN OF RAMAPO COUNTY OF ROCKLAND STATE OF NEW YORK**

TAX LOT:  
**SECTION 48.69 BLOCK 1 LOTS 1.1 & 1.2**

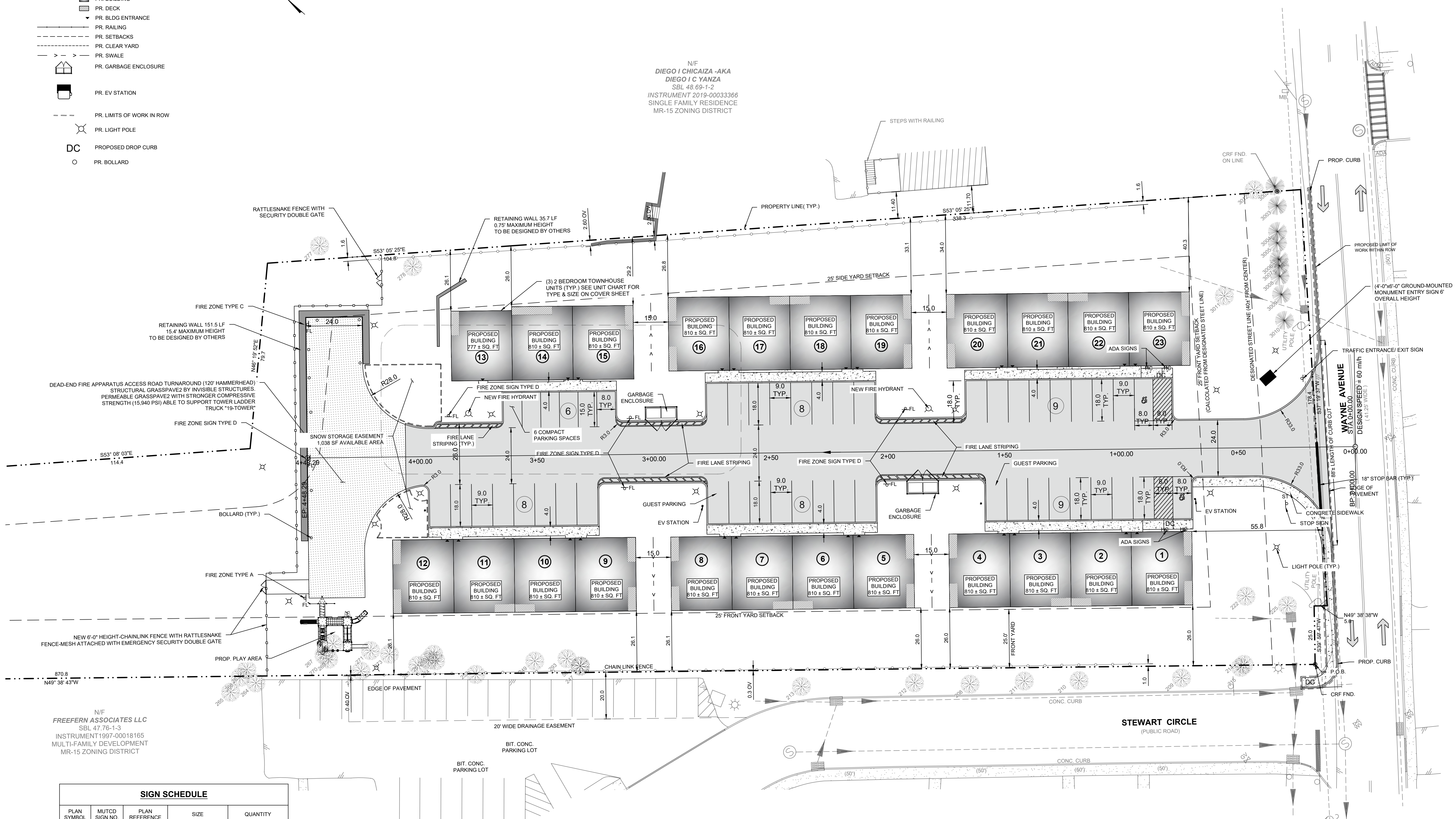
LOT AREA:  
**3.0343± ACRES 132,177.54 SQ.FT.**

DRAWN BY: SCALE: PROJECT NO.:  
MJC 1"=40' 25-079

CHECKED BY: ORIGINAL DATE SHEET:  
JJ 07/15/2025

APPROVED BY: LAST REVISED: **C01**  
MJC 03/31/2026 PAGE 01 OF 15

- LEGEND:**
- EX. PROPERTY LINE
  - EX. UTILITY POLE
  - EX. WIRE OVERHEAD
  - ✕ EX. CHAIN LINK FENCE
  - PR. CURB
  - PR. SIDEWALK
  - PR. DRIVEWAY
  - PR. BUILDING
  - PR. DECK
  - ▽ PR. BLDG ENTRANCE
  - PR. RAILING
  - PR. SETBACKS
  - PR. CLEAR YARD
  - PR. SWALE
  - PR. GARBAGE ENCLOSURE
  - PR. EV STATION
  - PR. LIMITS OF WORK IN ROW
  - PR. LIGHT POLE
  - DC PROPOSED DROP CURB
  - PR. BOLLARD



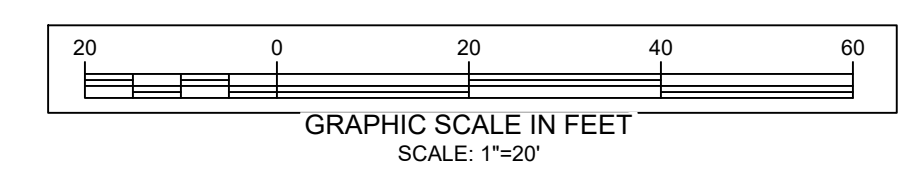
N/F  
 DIEGO I CHICAIZA -AKA  
 DIEGO I C YANZA  
 SBL 48.69-1-2  
 INSTRUMENT 2019-00033366  
 SINGLE FAMILY RESIDENCE  
 MR-15 ZONING DISTRICT

N/F  
 FREEFERN ASSOCIATES LLC  
 SBL 47.76-1-3  
 INSTRUMENT 1997-00018165  
 MULTI-FAMILY DEVELOPMENT  
 MR-15 ZONING DISTRICT

SIGN SCHEDULE				
PLAN SYMBOL	MUTCD SIGN NO.	PLAN REFERENCE	SIZE	QUANTITY
ST	R1-1A	STOP	18"X18"	1
FL	CUSTOM	FIRE ZONE	12"X18"	8
HC	CUSTOM	HANDICAPPED SPACE	12"X18"	4

- SIGN NOTES:**
- ALL TRAFFIC CONTROL SIGNS MUST CONFORM TO MUTCD STANDARDS
  - ALL STOP SIGNS INCLUDE A 18" WIDE WHITE PAINTED STOP BAR

**SITE PLAN**  
 SCALE - 1" = 20'



#	DATE	ISSUED
3	03/31/2026	REVISED PER PB
2	01/07/2026	REVISED PER PB
1	10/31/2025	REVISED PER PB

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 NEW YORK STATE LIC. NO. 074611

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 95 SMITH HILL RD  
 AIRMONT, NY 10952

OWNER:  
 SCOHEN BROOKLYN LLC  
 95 SMITH HILL RD  
 AIRMONT, NY 10952

**SITE PLAN**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
 SCOHEN BROOKLYN LLC

LOCATION:  
 156-160 WAYNE AVENUE, SUFFERN, NY 10901

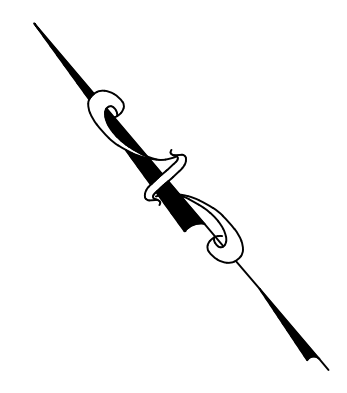
JURISDICTION:  
 VILLAGE OF SUFFERN  
 TOWN OF RAMAPO  
 COUNTY OF ROCKLAND  
 STATE OF NEW YORK

TAX LOT:  
 SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2

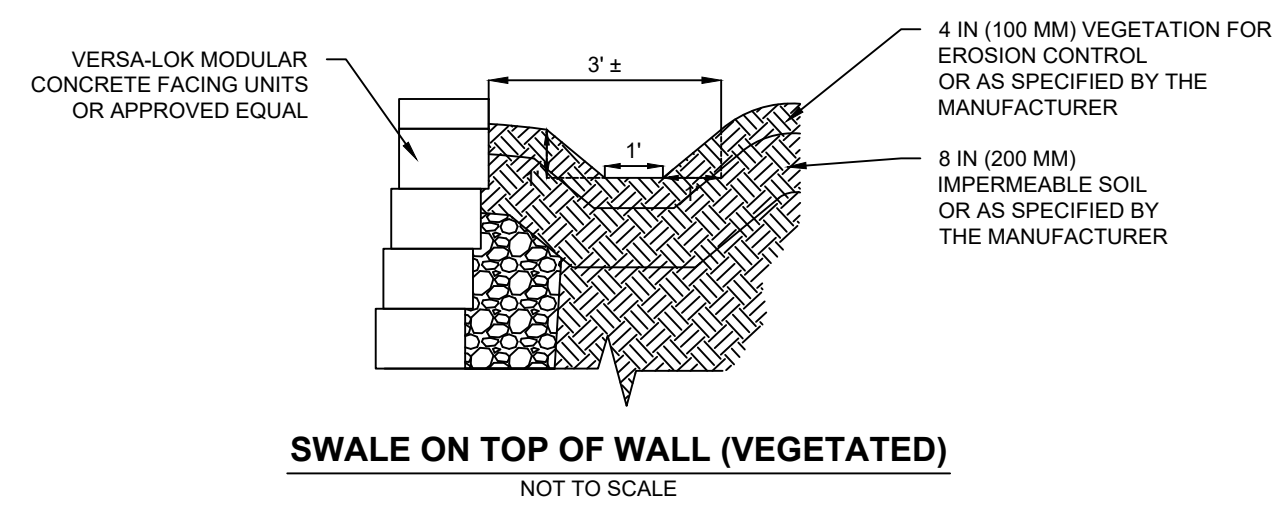
LOT AREA:  
 3.03432 ACRES 132,177.54 SQ.FT.

DRAWN BY: SCALE: PROJECT NO.:  
 MJC 1"=20' 25-079

CHECKED BY: ORIGINAL DATE: SHEET:  
 JJ 07/15/2025 15  
 APPROVED BY: LAST REVISED: **C02**  
 MJC 03/31/2026 PAGE 02 OF 15



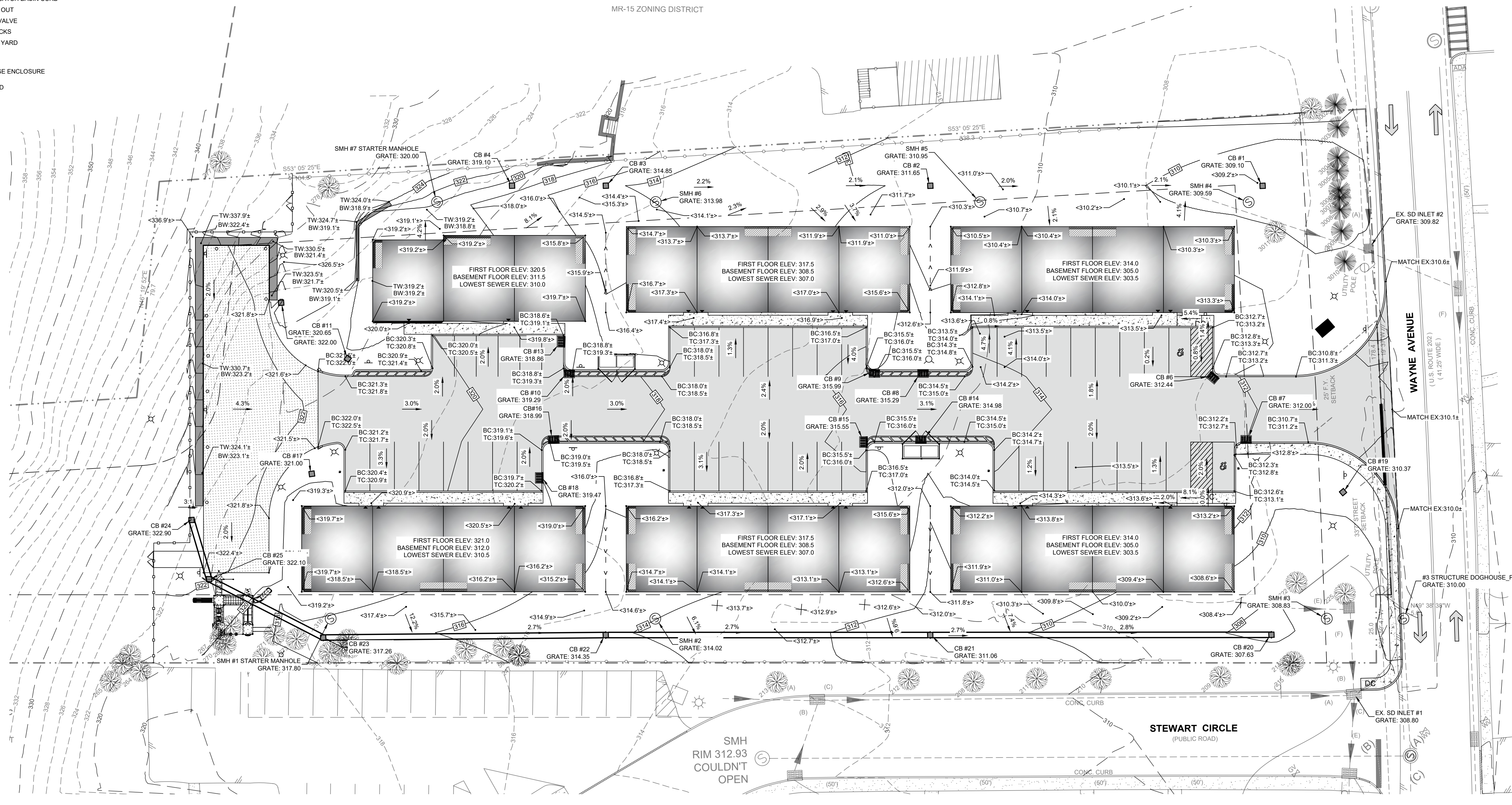
- GRADING NOTES:**
- CONTRACTOR SHALL VERIFY LOCATION AND OPERATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES, FEATURES, CONDITIONS, ETC., AND SHALL NOTIFY THE ENGINEER AND APPLICANT, IN WRITING, OF ANY DISCREPANCIES.
  - TREE CLEARING TO BE LIMITED TO THAT NECESSARY FOR PROP. CONSTRUCTION AND REQUIRED GRADING.
  - PROVIDE EROSION CONTROL AS SHOWN ON "EROSION CONTROL PLAN".
  - DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDING WITH 1/2 LB. RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQ. FT. TEMPORARY DIVERSION DITCHES WILL BE ESTABLISHED WHERE NECESSARY.
  - STABILIZE ALL DISTURBED AREAS WITH PERMANENT COVER FOLLOWING CONSTRUCTION. APPLY THE NECESSARY LIME, FERTILIZER, SEED AND MULCH.
  - TEMPORARY SEDIMENTATION ENTRAPMENT AREA SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED USING EARTHEN BERMS RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
  - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
  - AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
  - ALL CONSTRUCTION SHALL MEET CURRENT SPECIFICATIONS OF THE MUNICIPALITY WHICH APPROVED THE PLANS, AND/OR THAT TOWN OR VILLAGE HAVING JURISDICTION OVER THIS PLOT.
  - THE SEED MIXTURE FOR PERMANENT SEEDING SHALL BE:  
 KENTUCKY BLUEGRASS ... 100lbs / ACRE ... (2.0 lb/ 1000 SQ. FT.)  
 CREEPING RED FESCUE ... 30lbs / ACRE ... (0.5 lb/ 1000 SQ. FT.)  
 PERENNIAL RYE GRASS ... 23lbs / ACRE ... (0.7 lb/ 1000 SQ. FT.)
  - THE FOLLOWING APPLICATION RATES ARE TO BE USED FOR PERMANENT SEEDING: LIME IS TO BE APPLIED TO A pH OF AT LEAST 6.0 TO 7.0 OR AT A RATE OF 4 TONS/ACRE (STANDARD GRADE LIMESTONE). FERTILIZER TO BE APPLIED AT A RATE OF 800 lbs. TO 900 lbs/ACRE OR EQUIVALENT 5-10-10 (NITROGEN-PHOSPHOROUS-POTASSIUM)
  - SOD MAY BE USED INSTEAD OF SEED.



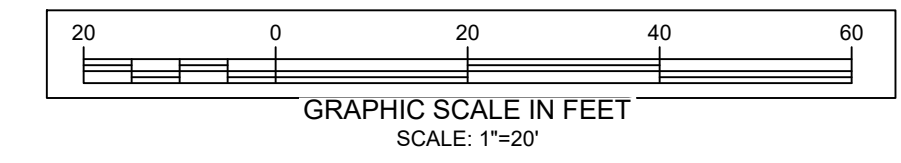
EARTHWORK SUMMARY*		
TOTAL QUANTITIES & AREAS	CUT (CY)	FILL (CY)
TOTAL QUANTITY	3,279 ± CY	4,922 ± CY
TOTAL QUANTITY DIFFERENCE	1,643 ± CY NET FILL (IMPORT)	
TOTAL DISTURBED AREA	82,597 SF ( 1.896 AC)	

- LEGEND:**
- EX. PROPERTY LINE
  - EX. UTILITY POLE
  - EX. WIRE OVERHEAD
  - EX. CHAIN LINK FENCE
  - EX. CONTOUR, MAJOR
  - EX. CONTOUR, MINOR
  - PR. CURB
  - PR. SIDEWALK
  - PR. DRIVEWAY
  - PR. BUILDING
  - PR. DECK
  - PR. BLDG ENTRANCE
  - PR. RAILING
  - PR. CONTOUR
  - PR. SPOT ELEVATION
  - PR. CB/CATCH BASIN CURB
  - PR. CLEAN OUT
  - PR. CURB VALVE
  - PR. SETBACKS
  - PR. CLEAR YARD
  - PR. GARBAGE ENCLOSURE
  - PR. BOLLARD

MR-15 ZONING DISTRICT



**GRADING PLAN**  
SCALE - 1" = 20'



#	DATE	ISSUED
3	03/31/2026	REVISED PER PB
2	01/07/2026	REVISED PER PB
1	10/31/2025	REVISED PER PB

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03/31/2026  
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Michael J. Calise, P.E.  
NEW YORK STATE LIC. NO. 074611

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95 SMITH HILL RD  
AIRMONT, NY 10952

OWNER:  
SCOHEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

SHEET TITLE:  
**GRADING PLAN**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
SCOHEN BROOKLYN LLC

LOCATION:  
156-160 WAYNE AVENUE, SUFFERN, NY 10901

JURISDICTION:  
VILLAGE OF SUFFERN  
TOWN OF RAMAPO  
COUNTY OF ROCKLAND  
STATE OF NEW YORK

TAX LOT:  
SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2

LOT AREA:  
3.0343± ACRES 132,177.54 SQ.FT.

DRAWN BY: MJC  
SCALE: 1"=20'  
PROJECT NO.: 25-079

CHECKED BY: JJ  
ORIGINAL DATE SHEET: 07/15/2025

APPROVED BY: MJC  
LAST REVISED: 03/31/2026

**C03**  
PAGE 03 OF 15

**WATER NOTES:**

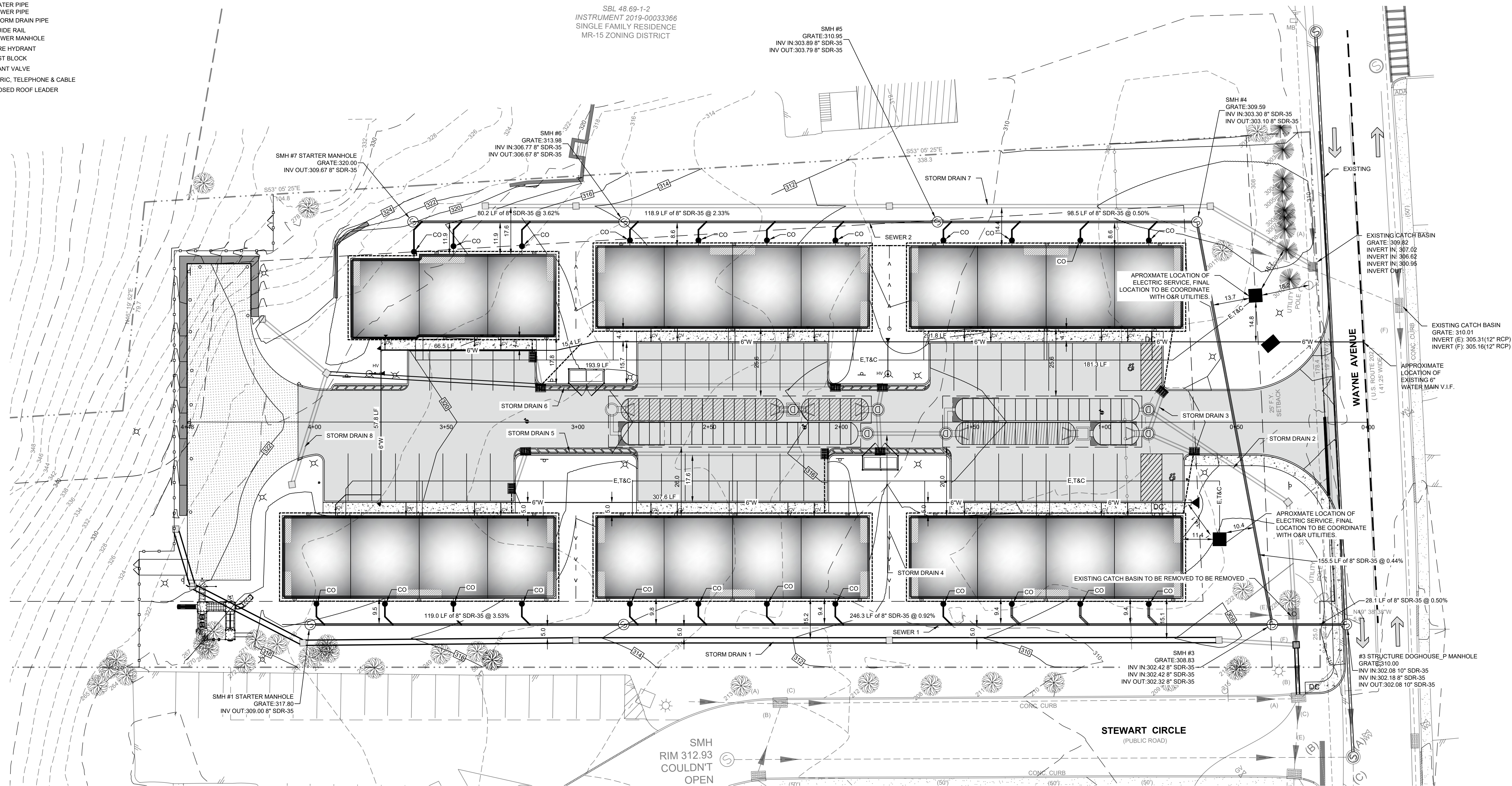
- CONTRACTOR SHALL VERIFY LOCATION AND OPERATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES, FEATURES, CONDITIONS, ETC., AND SHALL NOTIFY THE ENGINEER AND APPLICANT, IN WRITING, OF ANY DISCREPANCIES.
- ALL WATER MAIN AND APPURTENANCES MATERIALS AND METHODS OF CONSTRUCTION WILL BE IN ACCORDANCE WITH ALL OF THE REQUIREMENTS OF THE WATER DEPARTMENT OF THE VILLAGE OF SUFFERN NO INSTALLATION OF PIPE LINES OR APPURTENANCES SHALL BE INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE ENGINEER.
- ALL PIPES SHALL BE LAID WITH A MINIMUM COVER OF 4'-6" (4.5'). PIPES SHALL BE TYPE 'K' COPPER PIPE.
- WORKMANSHIP AND METHODS FOR COPPER WATER SERVICE PIPE WILL CONFORM WITH THE AMERICAN WATER WORKS ASSOCIATION SPECIFICATIONS (LATEST EDITION).
- ALL TRENCHES SHALL BE BACKFILLED WITH SUCH OF THE EXCAVATED MATERIAL AS MAY BE DIRECTED. CARE SHALL BE TAKEN SO AS NOT TO DISTURB THE PIPE LINE WHILE BACKFILLING. BACKFILLING SHALL BE THOROUGHLY TAMPED AND BROUGHT TO SIX (6) INCHES ABOVE THE TOP OF THE PIPE. INLETS NOT EXCEEDING EIGHT (8) INCHES. BACKFILL ABOVE THIS ZONE SHALL MAY BE MADE WITH HIGHER LIFTS, AND COMPACTION SHALL BE SECURED BY SLUSHING, TAMPING OR ROLLING. GRAVEL SHALL BE PLACED AROUND PIPES WHEN REQUIRED. NO ROCK SHALL BE PUT IN THE TRENCH UNTIL BACKFILL HAS REACHED AT LEAST ONE (1) FOOT ABOVE THE TOP OF THE PIPE. ROCKS OR Boulders WEIGHING IN EXCESS OF THIRTY (30) POUNDS SHALL NOT BE PLACED IN THE TRENCH. ALL SPACES BETWEEN ROCK SHALL BE THOROUGHLY FILLED WITH EARTH BY BACKFILLING IN ALTERNATE LAYERS OF ROCK AND EARTH. LARGE PIECES OF ROCK SHALL BE DISTRIBUTED THROUGHOUT THE FILL, RATHER THAN CONCENTRATED IN ONE SECTION.
- ALL BENDS, TEES AND HYDRANTS INSTALLATIONS SHALL BE SUITABLY RESTRAINED BY THE USE OF ADEQUATE THRUST BLOCKS, RODDING, RETAINER RINGS AND/OR THE USE OF SPECIAL GASKETS SUCH AS THOSE EMPLOYED WITH "LOK TYTON" PIPE OR APPROVED ALTERNATE.
- ALL TESTING AND DISINFECTION SHALL BE ACCORDING TO THE WATER DEPARTMENT OF THE VILLAGE OF SUFFERN REQUIREMENTS.
- LOT 4 (EXISTING RESIDENCE) WILL HAVE NO CHANGE TO EXISTING WATER SERVICE.
- PROPOSED WATER SERVICE LINE TO BE EITHER 3/4" OR 1" TYPE 'K' COPPER SERVICE.

**SANITARY SEWER LATERAL NOTES:**

- CONTRACTOR SHALL VERIFY LOCATION, LENGTHS AND INVERTS, FEATURES, CONDITIONS, ETC. OF ALL SANITARY MANHOLES AND SHALL IMMEDIATELY NOTIFY THE ENGINEER AND APPLICANT, IN WRITING, OF ANY DISCREPANCIES.
- ALL SANITARY SEWER LATERALS AND APPURTENANCES MATERIALS AND METHODS OF CONSTRUCTION WILL BE IN ACCORDANCE WITH ALL OF THE REQUIREMENTS OF THE SEWER DEPARTMENT OF THE VILLAGE OF SUFFERN NO INSTALLATION OF PIPE LINES OR APPURTENANCES SHALL BE INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE ENGINEER.
- ALL PIPES SHALL LAID IN CONFORMANCE WITH THE PLANS AND FIELD-CONDITIONS. PIPES SHALL BE SIX (6") INCH SDR-35 PVC PIPE.
- ALL TESTING AND DISINFECTION SHALL BE ACCORDING TO THE SEWER DEPARTMENT OF THE VILLAGE OF SUFFERN REQUIREMENTS.

**LEGEND:**

- EX. PROPERTY LINE
- PR. CURB
- PR. SIDEWALK
- PR. DRIVEWAY
- PR. DECK
- PR. CBCP-CATCH BASIN CURB
- PR. CLEAN OUT
- PR. CURB VALVE
- PR. SETBACKS
- PR. CLEAR YARD
- PR. ROOF DRAIN
- PR. EV STATION
- PR. WATER PIPE
- PR. SEWER PIPE
- PR. STORM DRAIN PIPE
- PR. GUIDE RAIL
- PR. SEWER MANHOLE
- PR. FIRE HYDRANT
- THRUST BLOCK
- HYDRANT VALVE
- E,T&C
- ELECTRIC, TELEPHONE & CABLE
- PROPOSED ROOF LEADER



**UTILITY PLAN**  
SCALE - 1" = 20'



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AIRMONT, NY 10952

OWNER:  
SCOHEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

SHEET TITLE:  
**UTILITY PLAN**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
**SCOHEN BROOKLYN LLC**

LOCATION:  
**156-160 WAYNE AVENUE, SUFFERN, NY 10901**

JURISDICTION:  
**VILLAGE OF SUFFERN  
TOWN OF RAMAPO  
COUNTY OF ROCKLAND  
STATE OF NEW YORK**

TAX LOT:  
**SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2**

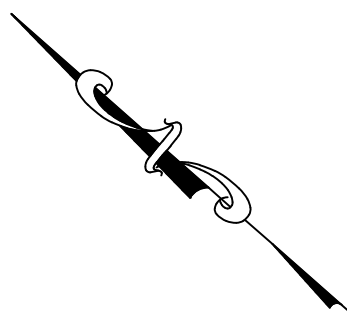
LOT AREA:  
**3.03432ACRES 132,177.54 SQ.FT.**

DRAWN BY: MJC  
SCALE: 1"=20'  
PROJECT NO.: 25-079

CHECKED BY: JJ  
ORIGINAL DATE: 07/15/2025  
SHEET: 04

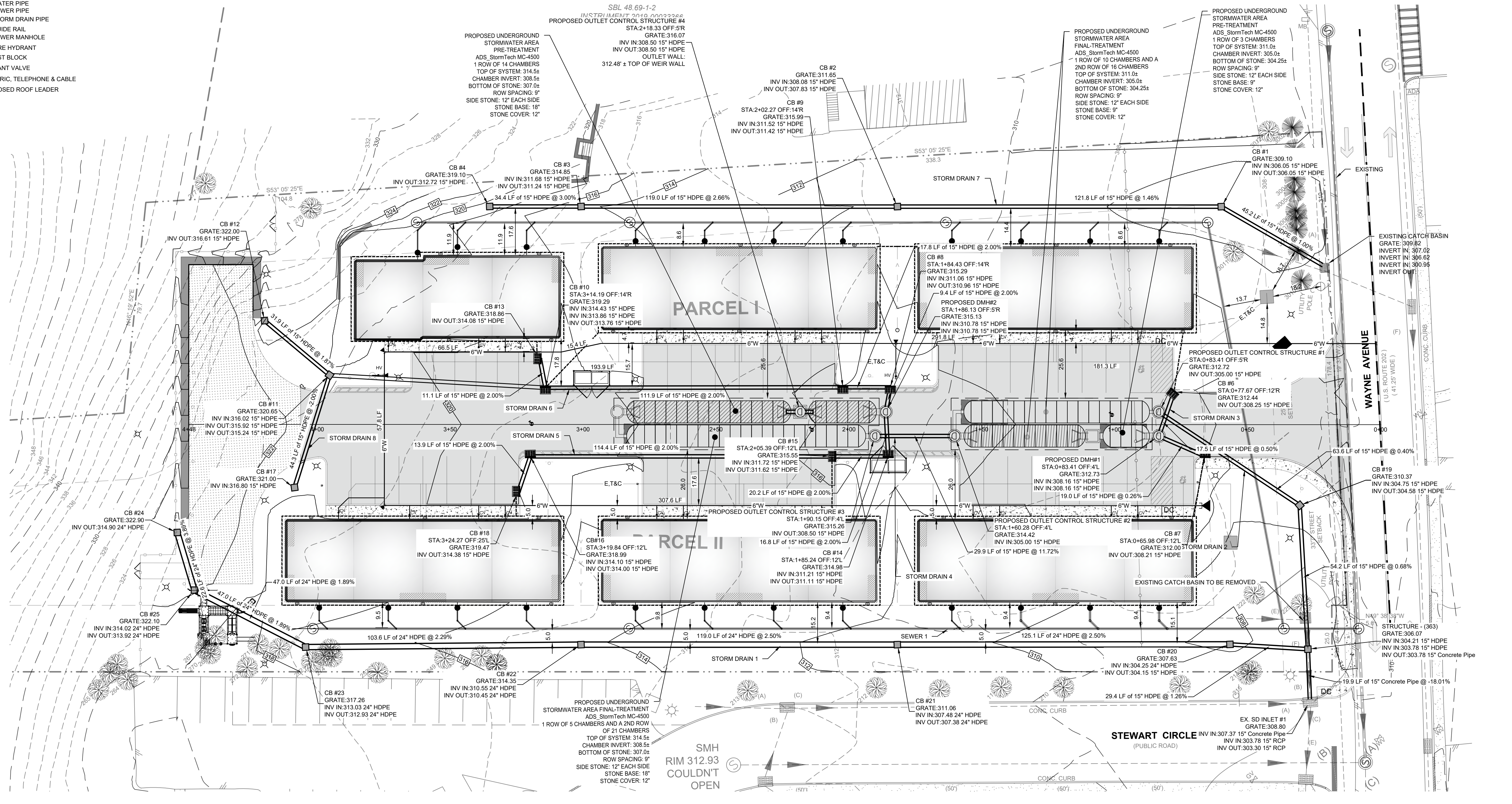
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LAST REVISED: 03/31/2026  
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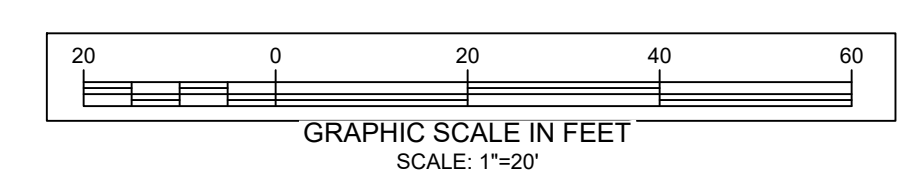


**LEGEND:**

- EX. PROPERTY LINE
- PR. CURB
- PR. SIDEWALK
- PR. DRIVEWAY
- PR. BUILDING
- PR. DECK
- PR. CBCP-CATCH BASIN CURB
- PR. CLEAN OUT
- PR. CURB VALVE
- PR. SETBACKS
- PR. CLEAR YARD
- PR. ROOF DRAIN
- PR. EV STATION
- PR. WATER PIPE
- PR. SEWER PIPE
- PR. STORM DRAIN PIPE
- PR. GUIDE RAIL
- PR. SEWER MANHOLE
- PR. FIRE HYDRANT
- PR. THRUST BLOCK
- PR. HYDRANT VALVE
- E,T&C
- ELECTRIC, TELEPHONE & CABLE
- PROPOSED ROOF LEADER



**STORM DRAIN SYSTEM PLAN**  
SCALE - 1" = 20'



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AIRMONT, NY 10952

OWNER:  
SCOHEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

**STORM DRAIN SYSTEM PLAN**

**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
SCOHEN BROOKLYN LLC

LOCATION:  
156-160 WAYNE AVENUE, SUFFERN, NY 10901

JURISDICTION:  
VILLAGE OF SUFFERN  
TOWN OF RAMAPO  
COUNTY OF ROCKLAND  
STATE OF NEW YORK

TAX LOT:  
SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2

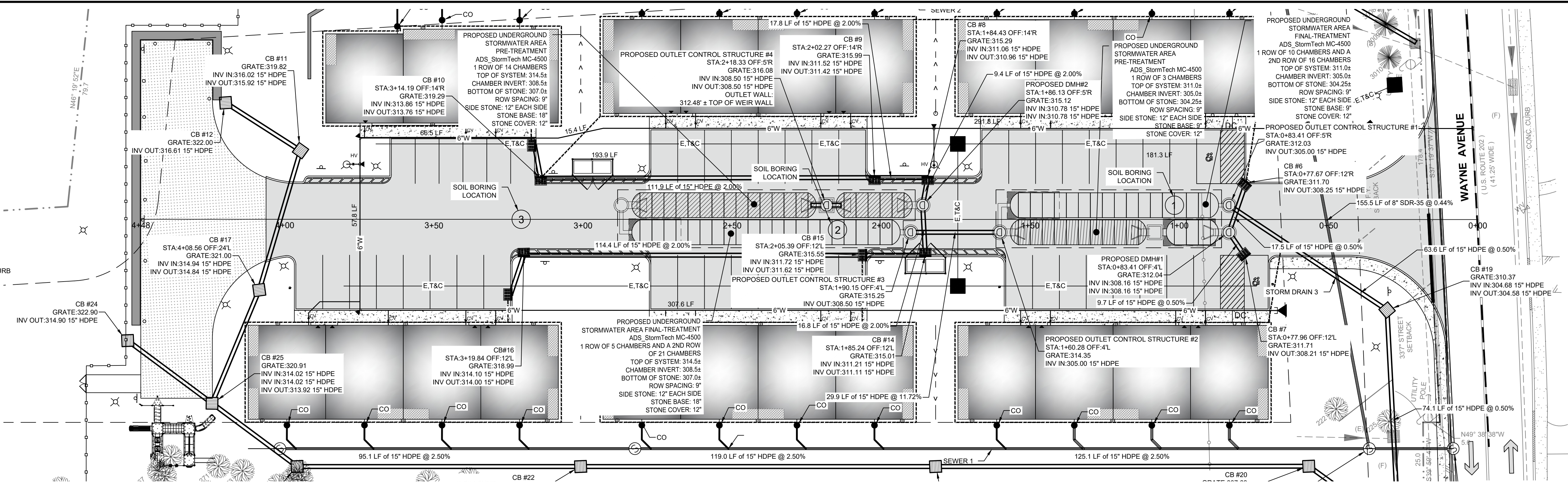
LOT AREA:  
3.0343ACRES 132,177.54 SQ.FT.

DRAWN BY: SCALE: PROJECT NO.:  
MJC 1"=20' 25-079

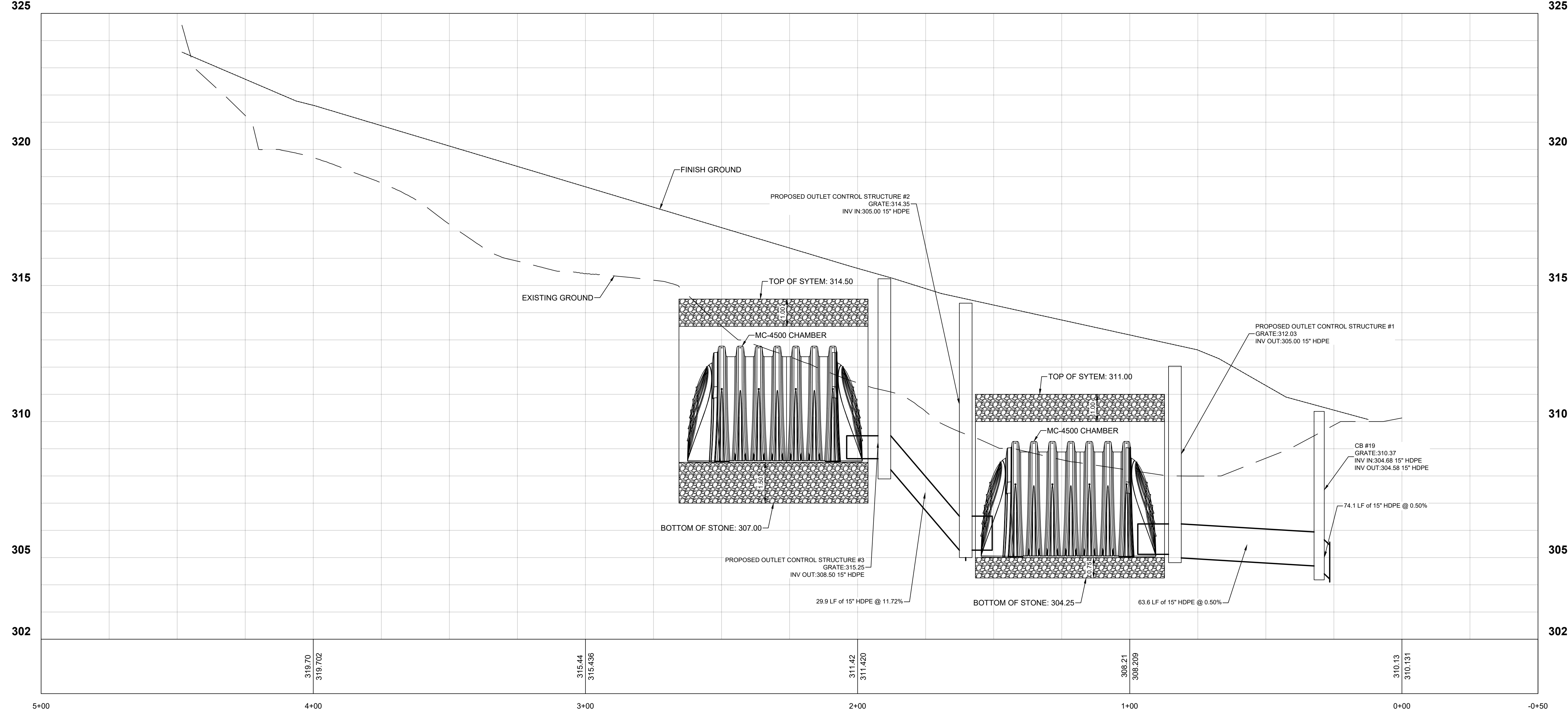
CHECKED BY: ORIGINAL DATE SHEET:  
JJ 07/15/2025  
APPROVED BY: LAST REVISED: **C05**  
MJC 03/31/2026 PAGE 05 OF 15

**LEGEND:**

	EX. PROPERTY LINE
	PR. CURB
	PR. SIDEWALK
	PR. DRIVEWAY
	PR. BUILDING
	PR. DECK
	PR. CBCP-CATCH BASIN CURB
	PR. CLEAN OUT
	PR. CURB VALVE
	PR. SETBACKS
	PR. CLEAR YARD
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	PR. SEWER PIPE
	PR. STORM DRAIN PIPE
	PR. GUIDE RAIL
	PR. SEWER MANHOLE
	PR. FIRE HYDRANT
	THRUST BLOCK
	HYDRANT VALVE
	E.T&C
	HYDRANT VALVE



**AL1 PROFILE**



**ROAD PROFILE**  
SCALE - 1" = 20'

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SHEET TITLE:  
**ROAD PROFILE**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
**SCOHEN BROOKLYN LLC**

LOCATION:  
**156-160 WAYNE AVENUE, SUFFERN, NY 10901**

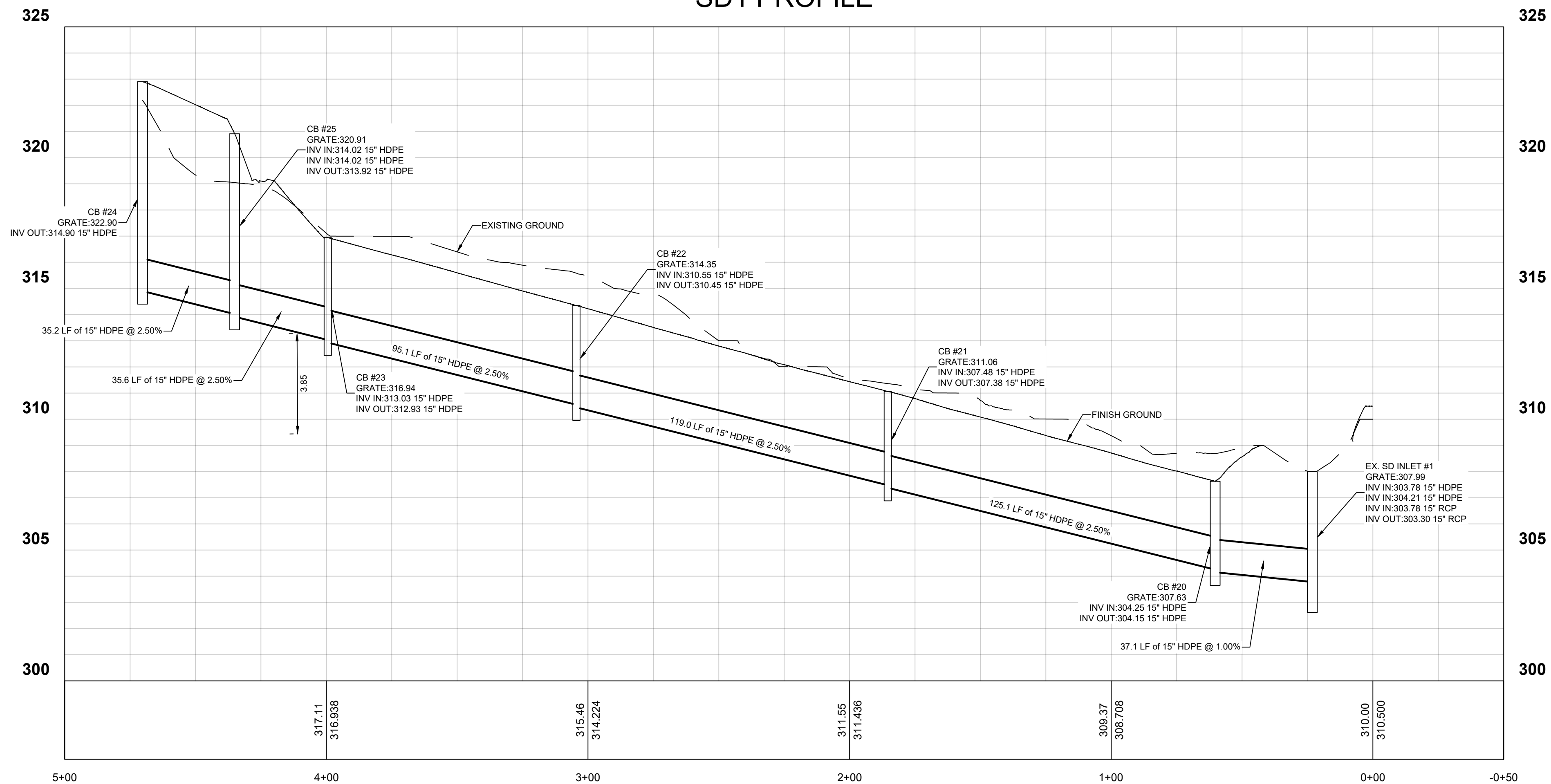
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STATE OF NEW YORK**

TAX LOT:  
**SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2**

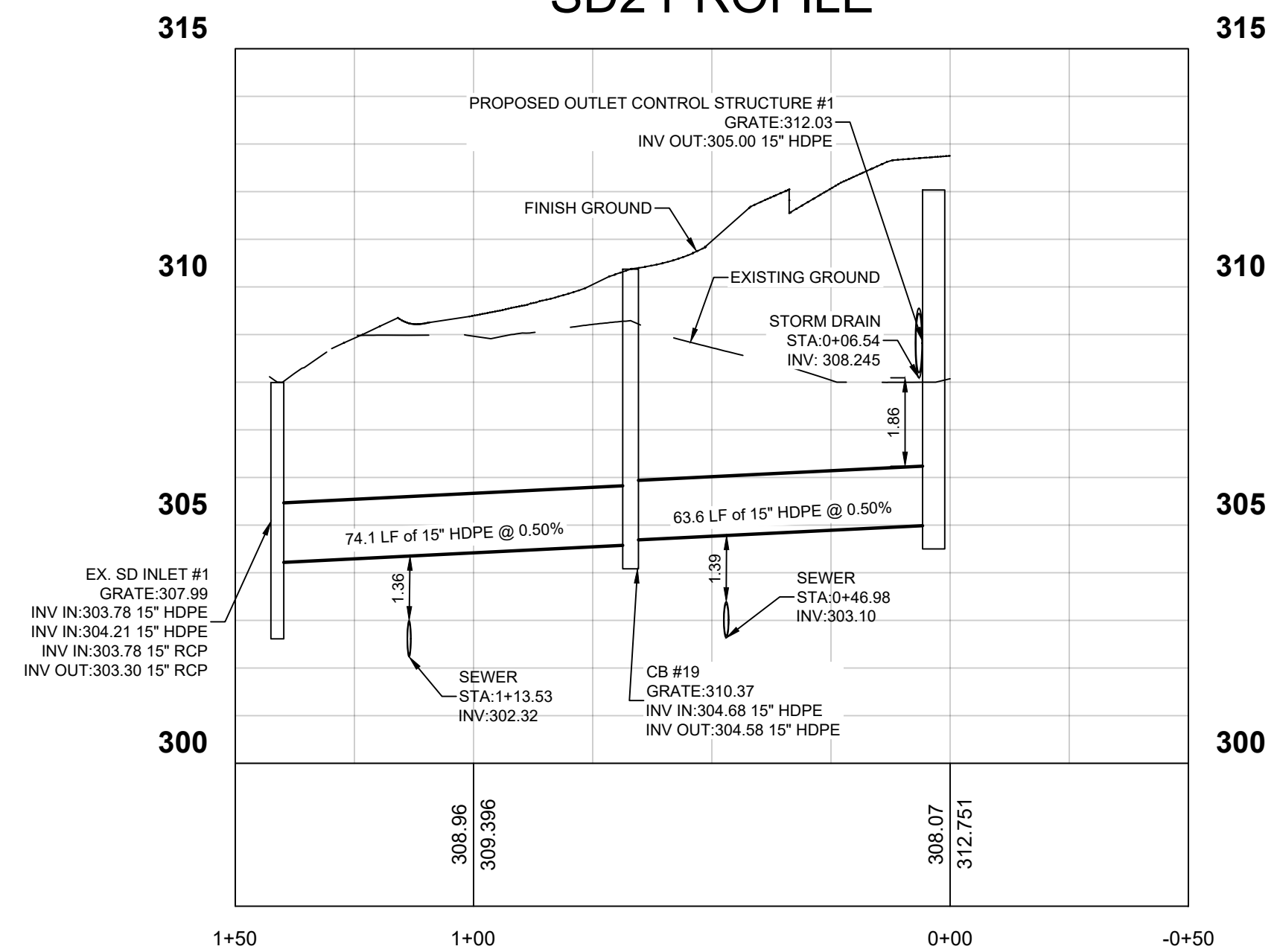
LOT AREA:  
**3.0343± ACRES 132,177.54 SQ.FT.**

DRAWN BY: MJC	SCALE: 1"=20'	PROJECT NO.:
CHECKED BY: JJ	ORIGINAL DATE:	SHEET:
APPROVED BY: MJC	LAST REVISED: 03/31/2026	<b>C06</b> PAGE 06 OF 15

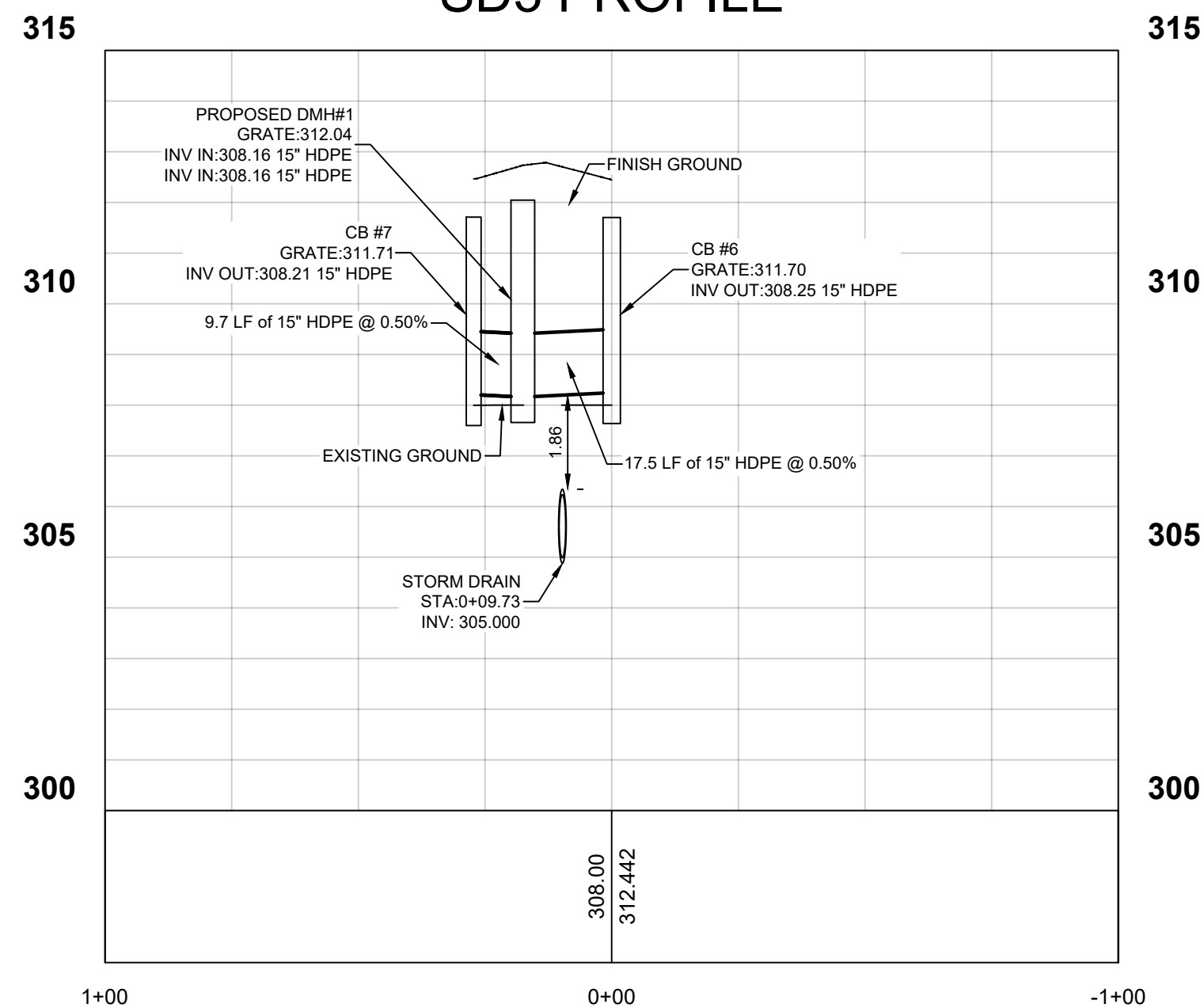
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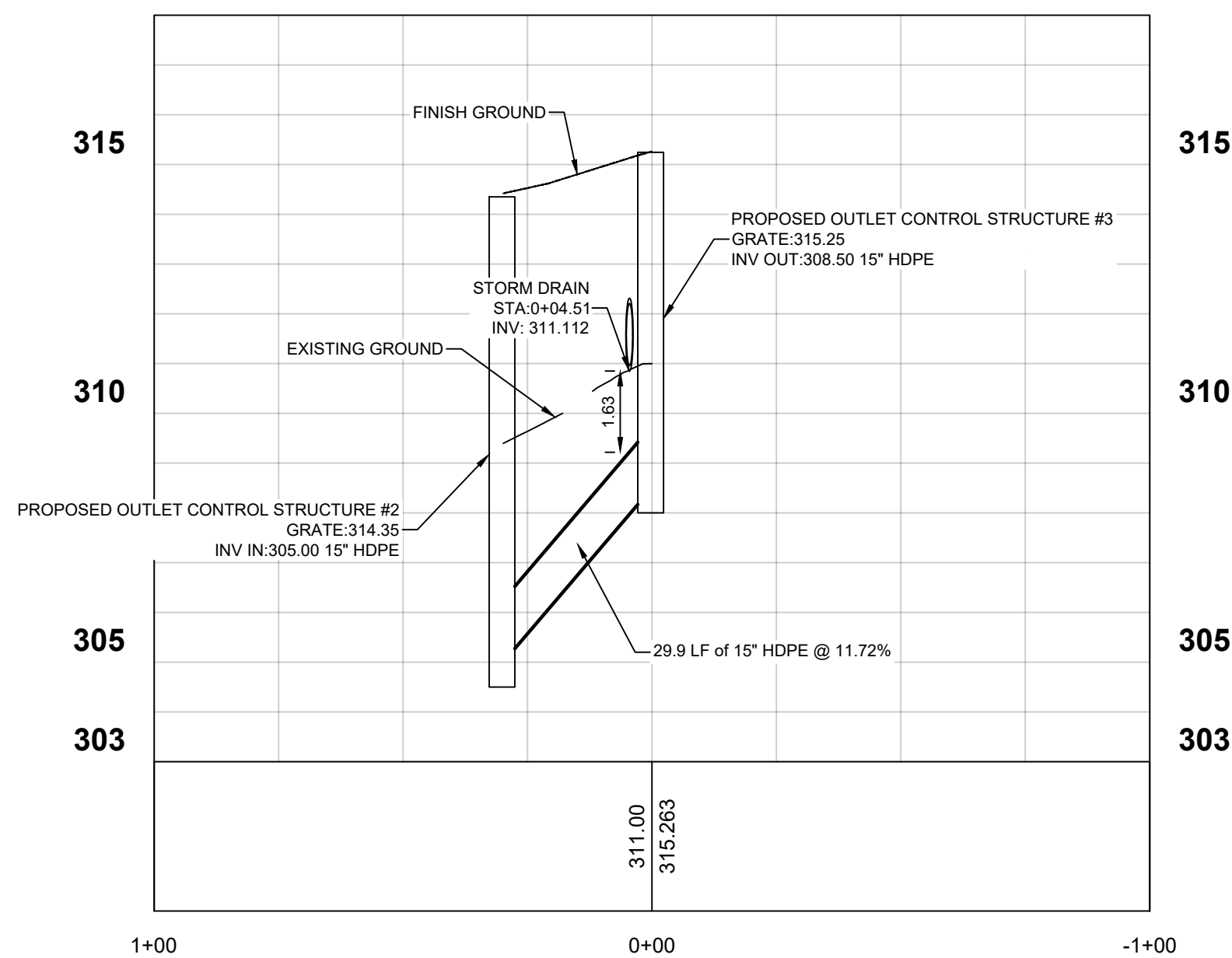
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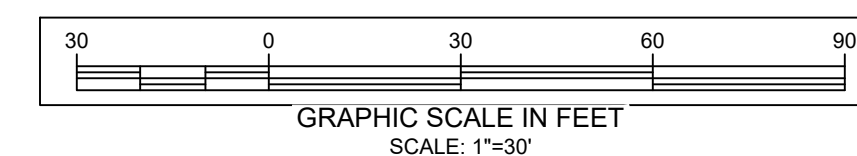
### SD3 PROFILE



### SD4 PROFILE



**PROFILE VIEW**  
 HORIZONTAL SCALE - 1" = 30'  
 VERTICAL SCALE - 1"=3'



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**STORM DRAIN PROFILE**

PROJECT TITLE:  
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LANDS OF:  
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LOCATION:  
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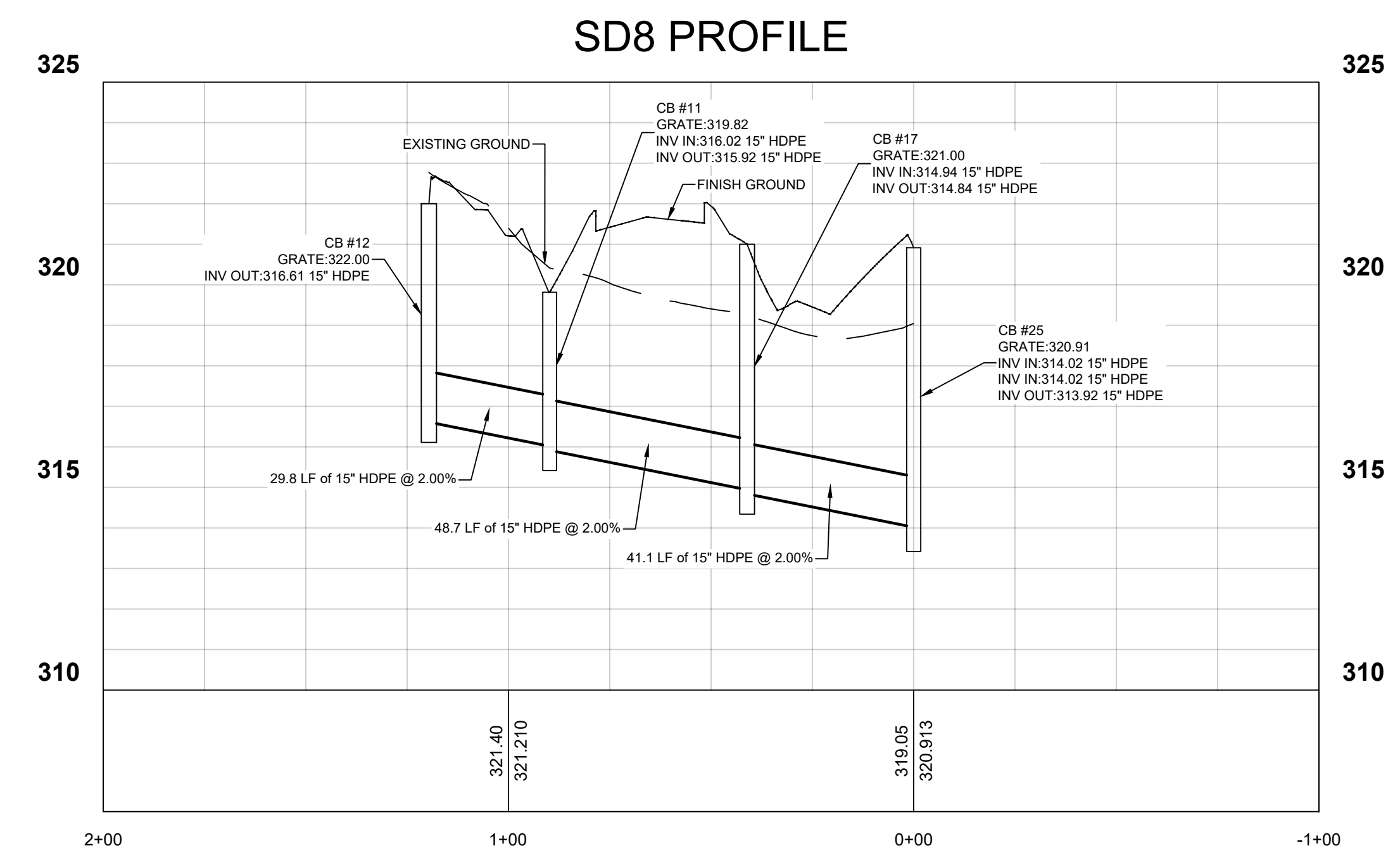
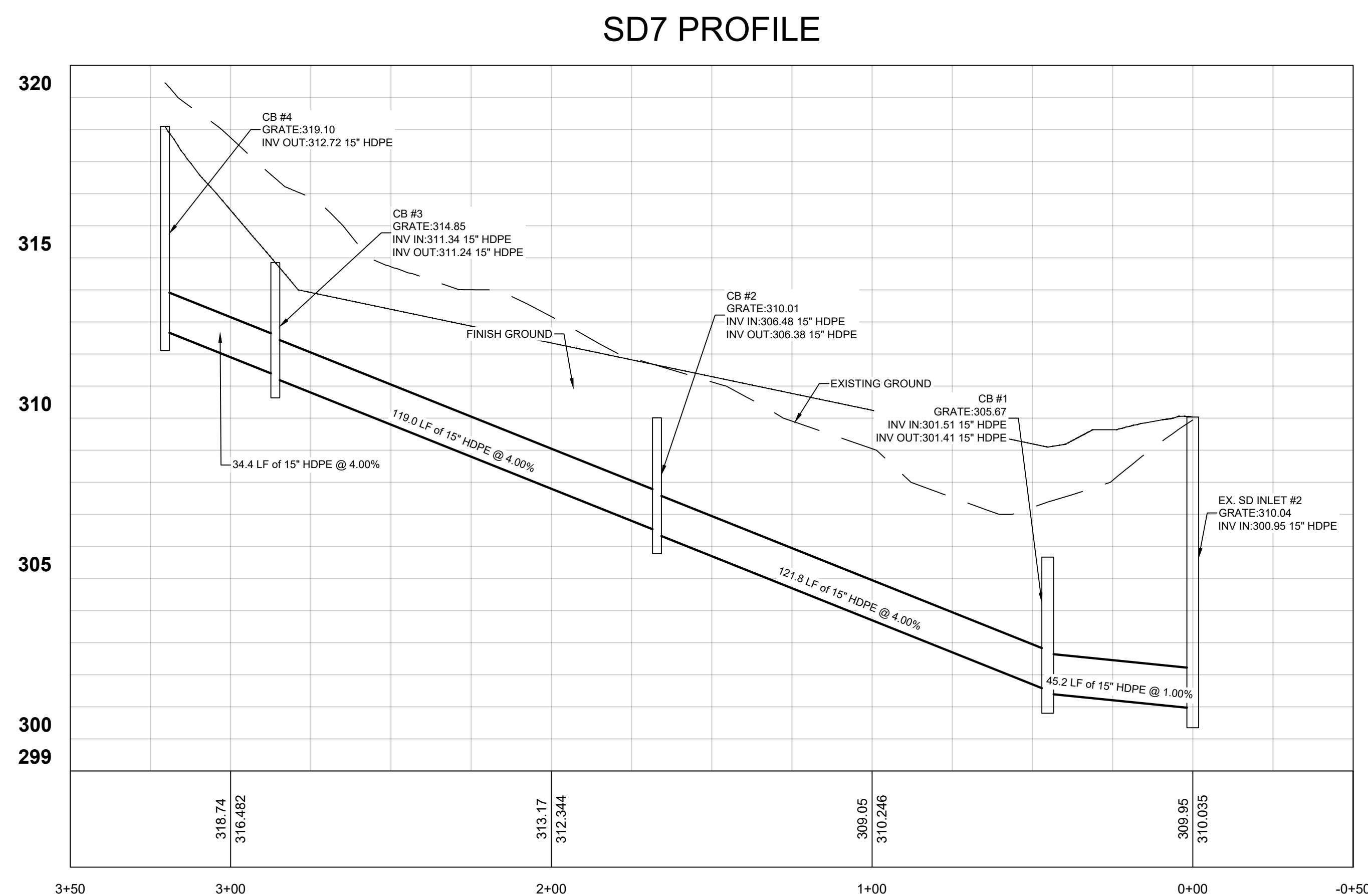
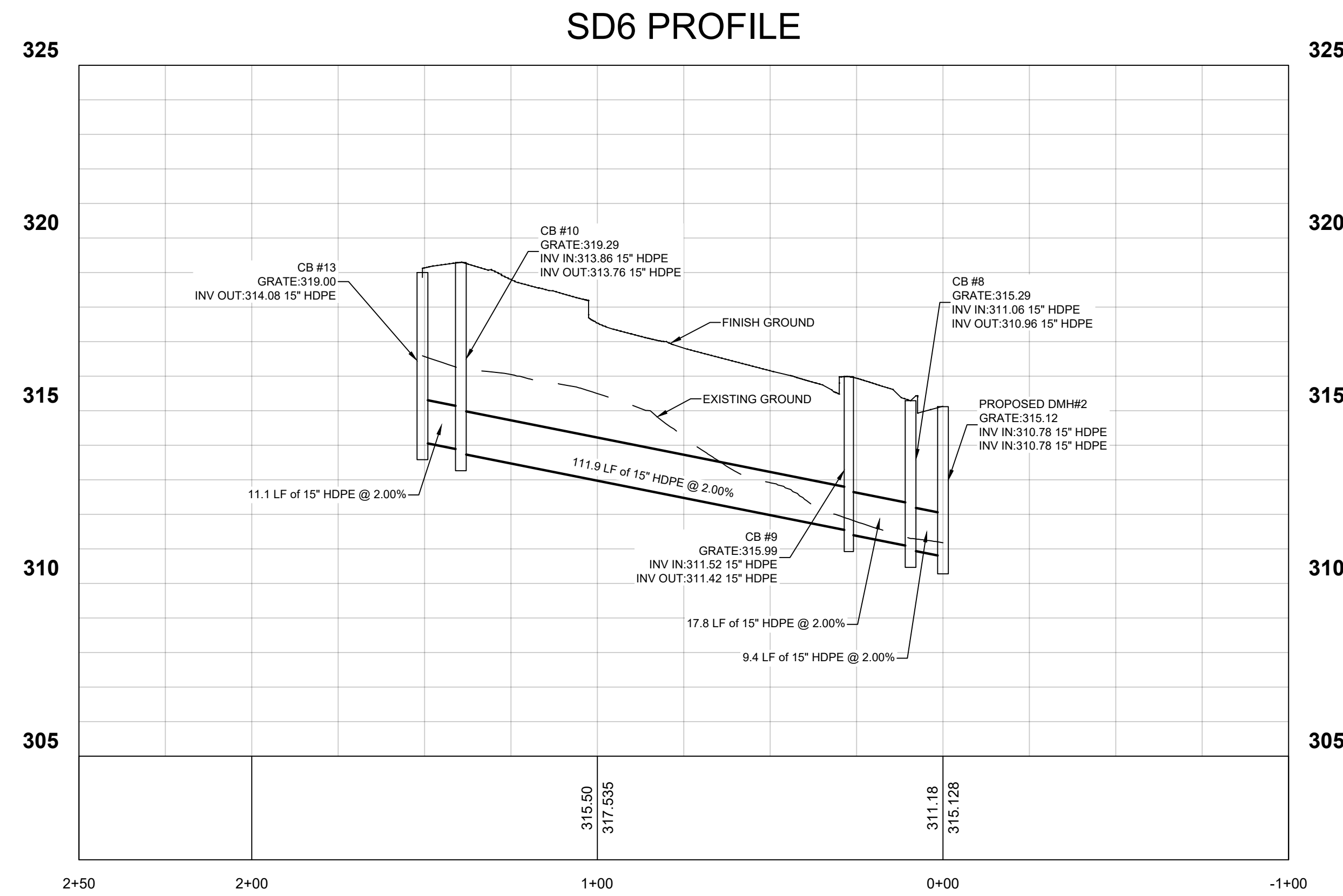
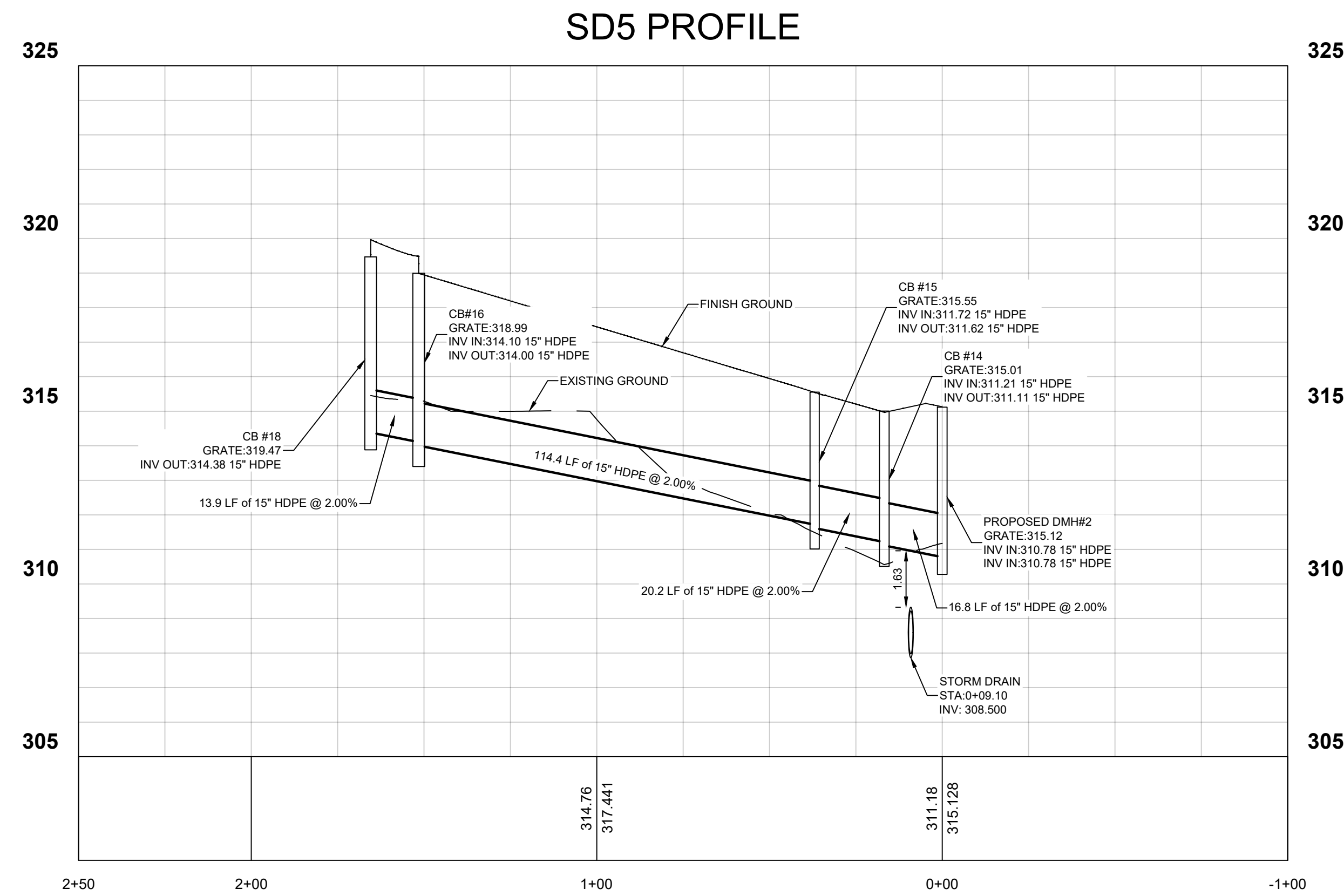
LOT AREA:  
**3.03432ACRES 132,177.54 SQ.FT**

DRAWN BY: SCALE: PROJECT NO.:  
 MYL 1:20' 25-079

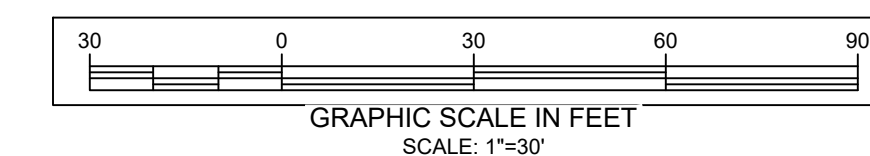
CHECKED BY: ORIGINAL DATE SHEET:  
 JJ 07/15/2025

APPROVED BY: LAST REVISED: SHEET:  
 MJC 03/31/2026 **C07**

PAGE 07 OF 15



**PROFILE VIEW**  
 HORIZONTAL SCALE - 1" = 30'  
 VERTICAL SCALE - 1" = 3'



	#	DATE	ISSUED
3	03/31/2026	REVISED PER PB	
2	01/07/2026	REVISED PER PB	
1	10/31/2025	REVISED PER PB	
#	DATE	REVISION	

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 cjconsultingengineers35@gmail.com

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 SCOHEN BROOKLYN LLC  
 95 SMITH HILL RD  
 AIRMONT, NY 10952

OWNER:  
 SCOHEN BROOKLYN LLC  
 95 SMITH HILL RD  
 AIRMONT, NY 10952

SHEET TITLE:  
**STORM DRAIN PROFILE**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
**SCOHEN BROOKLYN LLC**

LOCATION:  
**156-160 WAYNE AVENUE, SUFFERN, NY 10901**

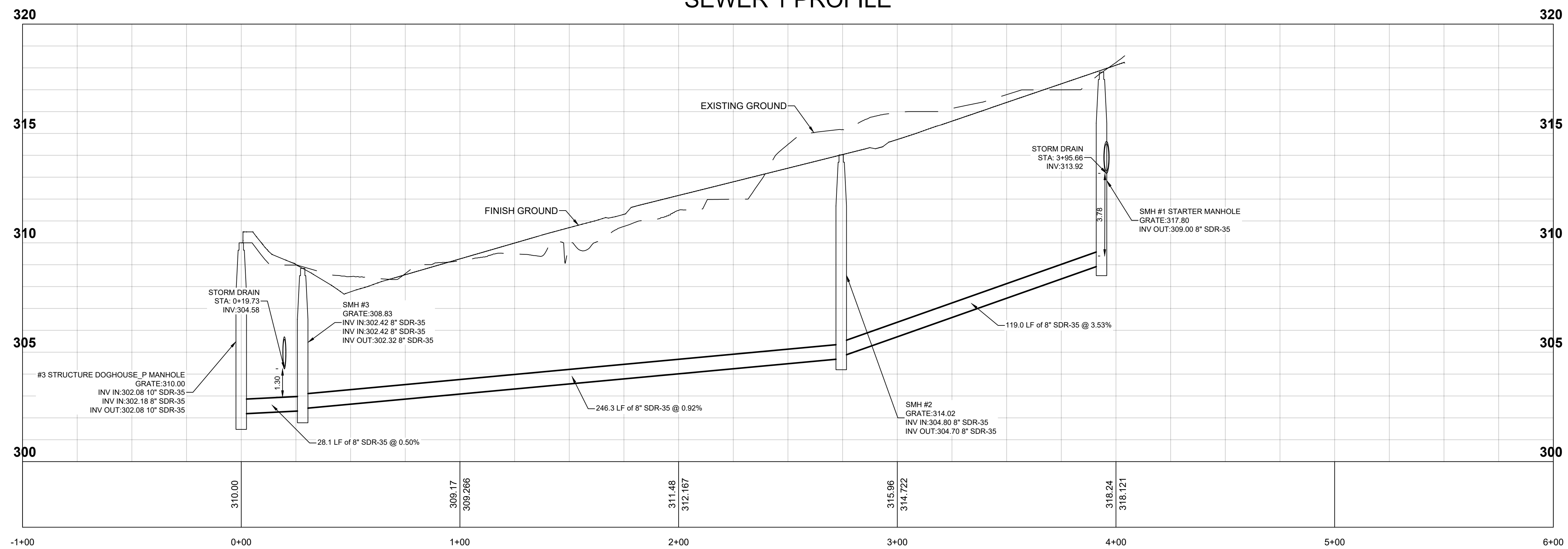
JURISDICTION:  
**VILLAGE OF SUFFERN  
 TOWN OF RAMAPO  
 COUNTY OF ROCKLAND  
 STATE OF NEW YORK**

TAX LOT:  
**SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2**

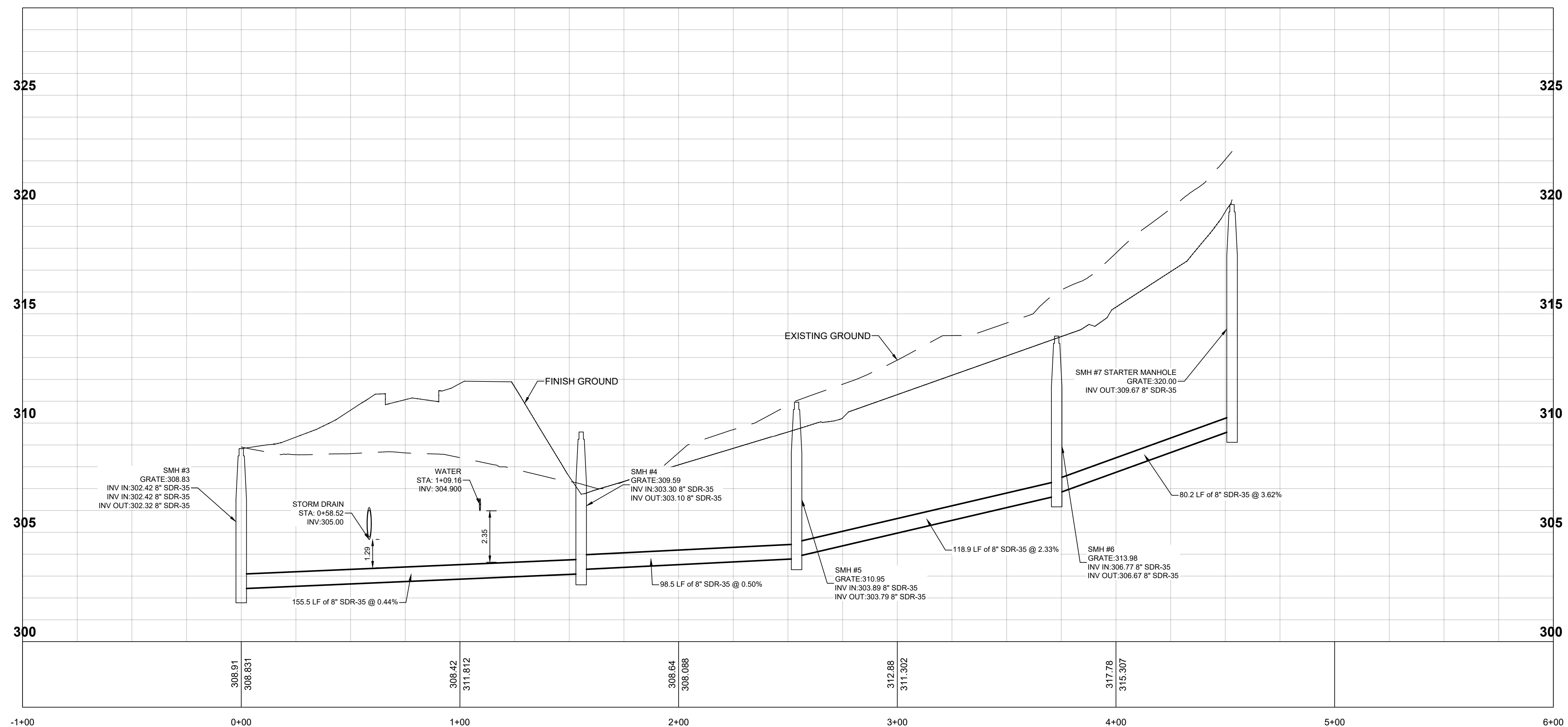
LOT AREA:  
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DRAWN BY: MJC	SCALE: 1/20"	PROJECT NO.:
CHECKED BY: JJ	ORIGINAL DATE:	SHEET:
APPROVED BY: MJC	LAST REVISED:	C08
	03/31/2026	PAGE 08 OF 15

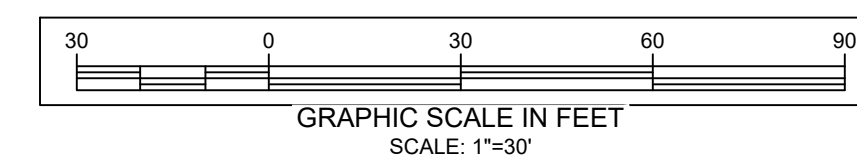
### SEWER 1 PROFILE



### SEWER 2 PROFILE



**PROFILE VIEW**  
HORIZONTAL SCALE - 1" = 30'  
VERTICAL SCALE - 1" = 3'



#	DATE	ISSUED
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#	DATE	REVISION

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cjconsultingengineers35@gmail.com

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SCOHEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

OWNER:  
SCOHEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

SHEET TITLE:  
**SEWER PROFILE**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE  
TOWNHOUSES**

LANDS OF:  
**SCOHEN BROOKLYN LLC**

LOCATION:  
**156-160 WAYNE AVENUE, SUFFERN,  
NY 10901**

JURISDICTION:  
**VILLAGE OF SUFFERN  
TOWN OF RAMAPO  
COUNTY OF ROCKLAND  
STATE OF NEW YORK**

TAX LOT:  
**SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2**

LOT AREA:  
**3.03432ACRES 132,177.54 SQ.FT**

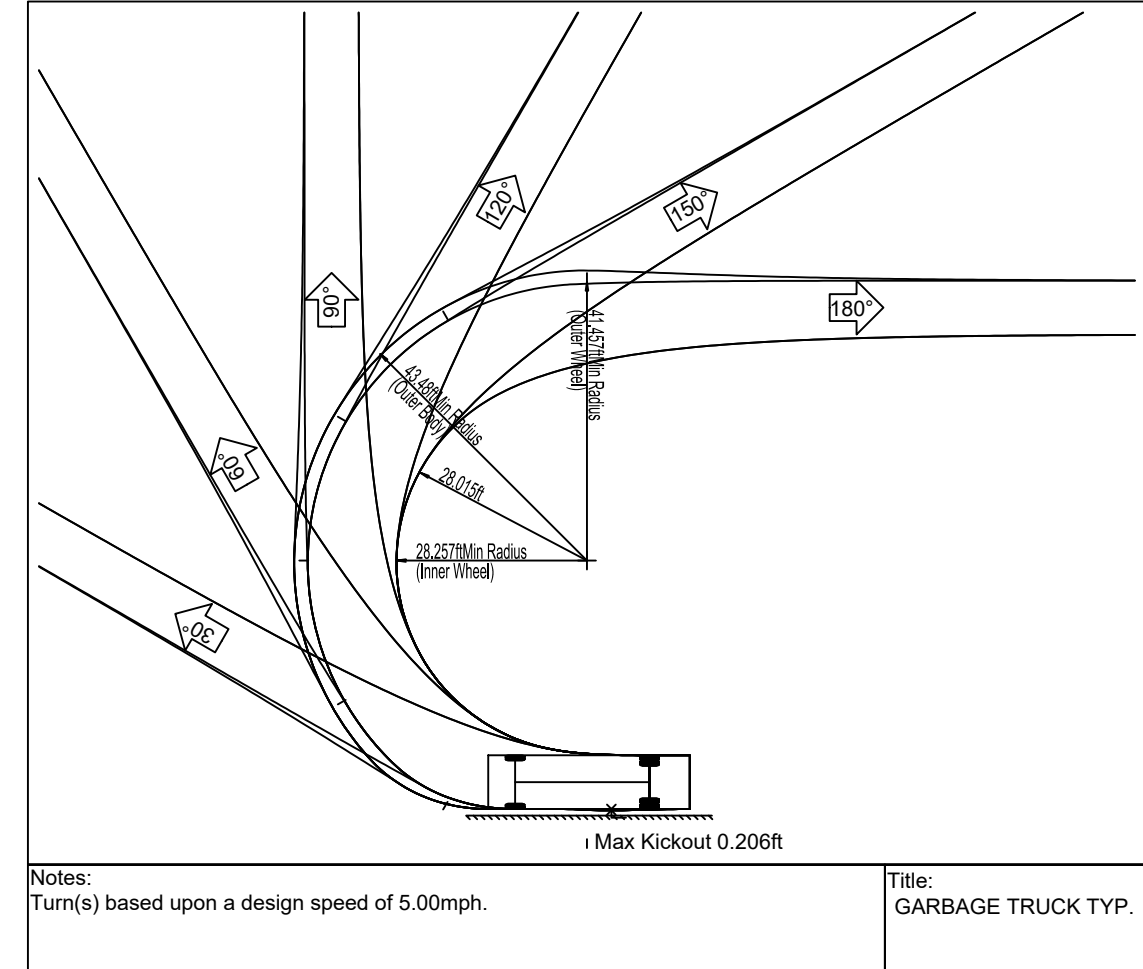
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MYL 1:30" 25-079

CHECKED BY: ORIGINAL DATE SHEET:  
JJ 07/15/2025

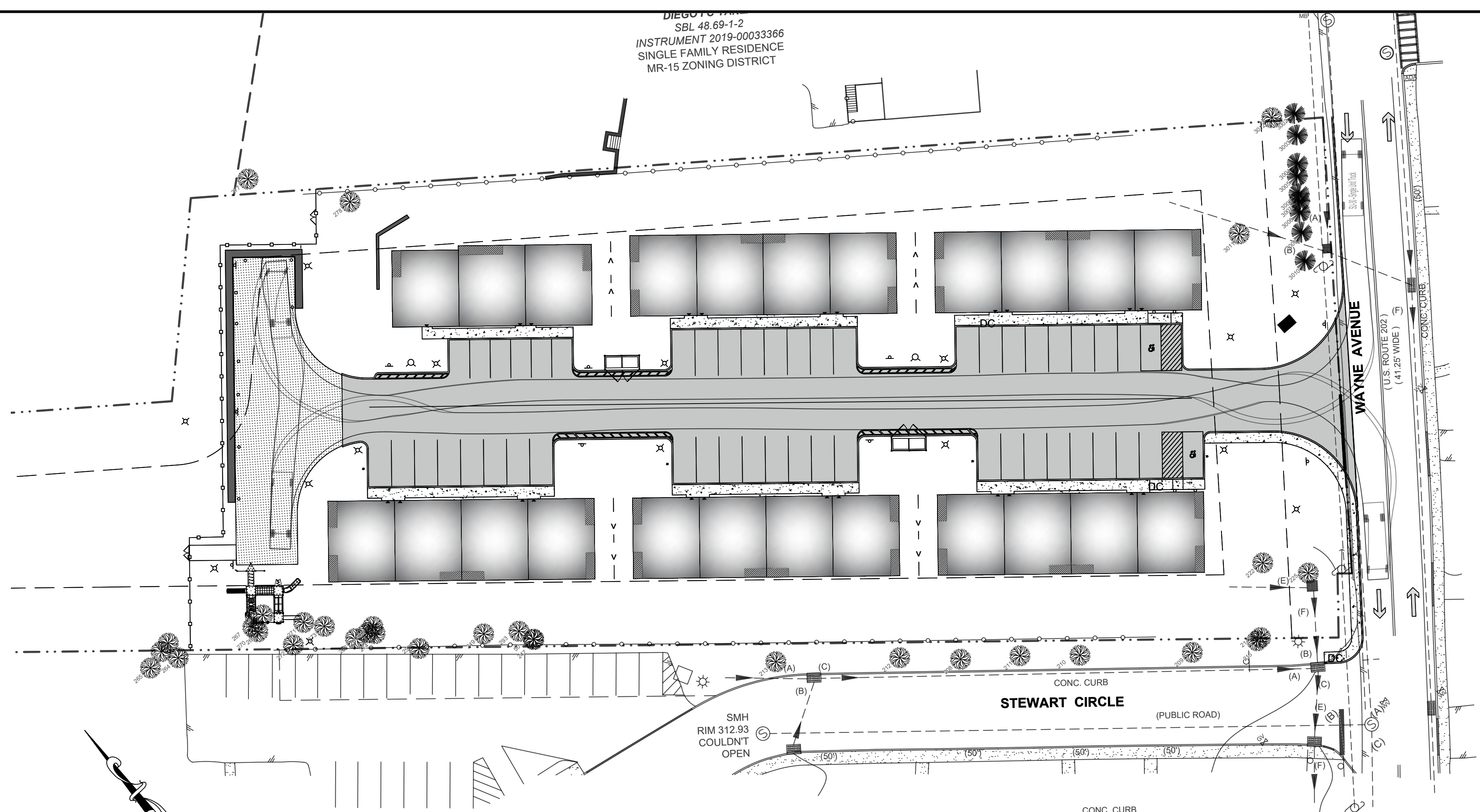
APPROVED BY: LAST REVISED: SHEET:  
MJC 03/31/2026 **C09**



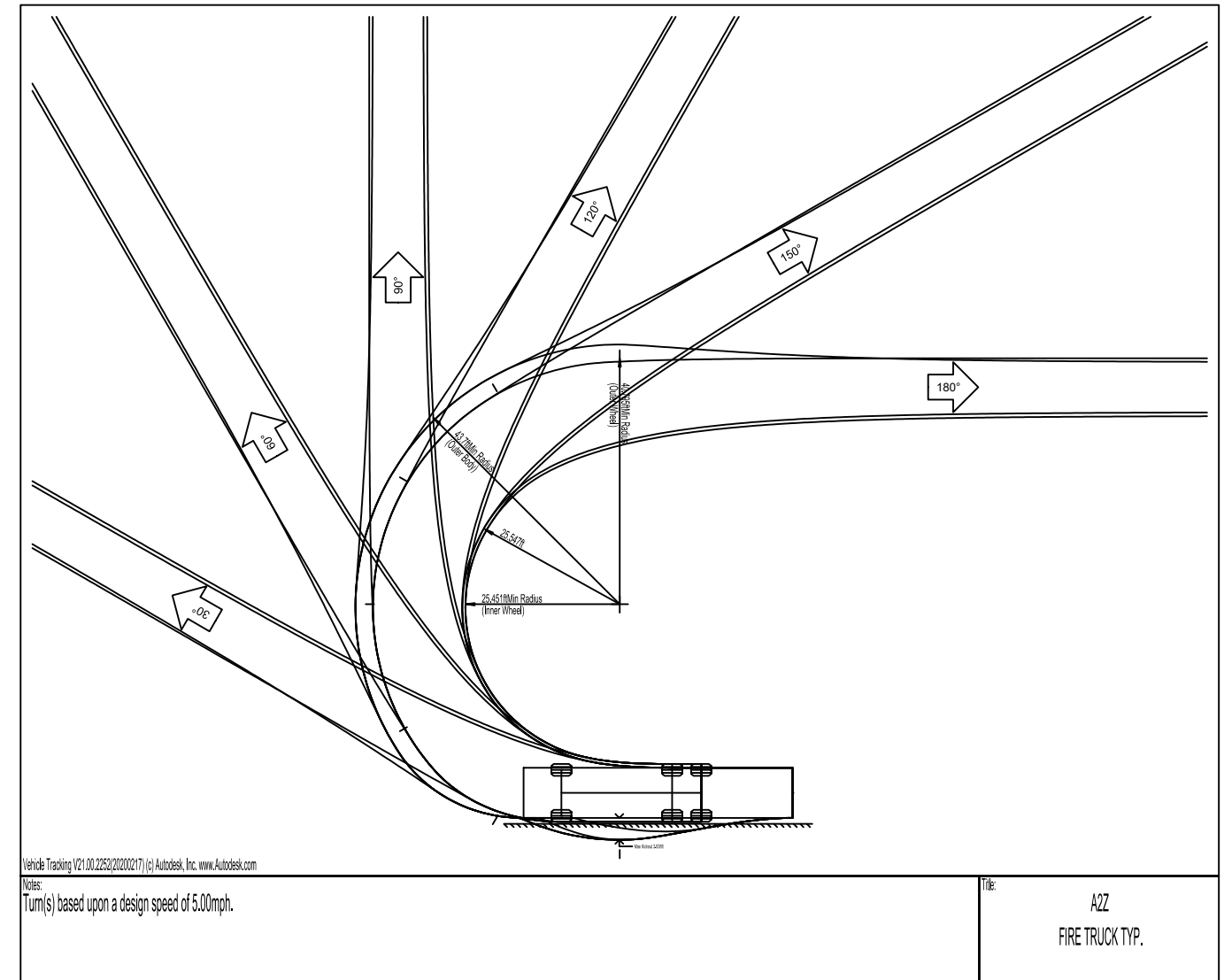
DIEGOTOWN  
SBL 48.69-1-2  
INSTRUMENT 2019-00033366  
SINGLE FAMILY RESIDENCE  
MR-15 ZONING DISTRICT



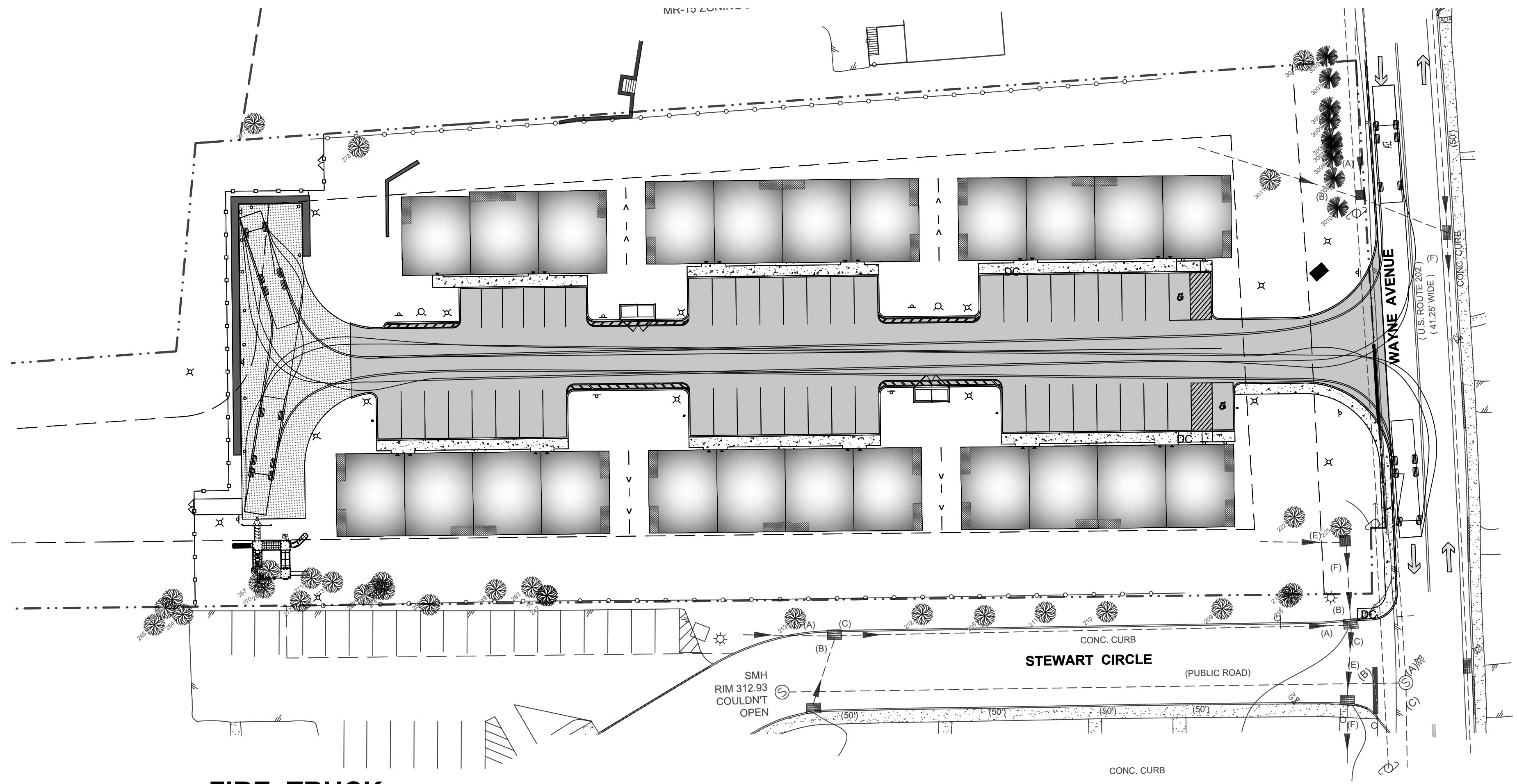
Garbage Truck TYP.  
Overall Length 30.000ft  
Overall Width 8.000ft  
Overall Body Height 13.500ft  
Min Body Ground Clearance 1.367ft  
Track Width 8.000ft  
Lock-to-lock time 5.00s  
Max Steering Angle (Virtual) 31.80°



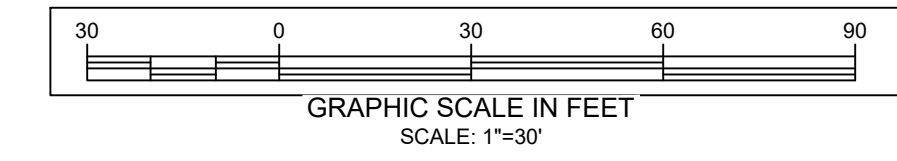
**GARBAGE TRUCK**  
SCALE - 1" = 30'



SEAGRAVE AERIALSCOPE  
Overall Length 44.670ft  
Overall Width 8.333ft  
Overall Body Height 11.831ft  
Min Body Ground Clearance 1.612ft  
Track Width 9.565ft  
Lock-to-lock time 6.00s  
Wall to Wall Turning Radius 45.7°



**FIRE TRUCK**  
SCALE - 1" = 30'



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95 SMITH HILL RD  
AIRMONT, NY 10952

OWNER:  
SCOHEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

SHEET TITLE:  
**TRUCK TURNAROUND**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
**SCOHEN BROOKLYN LLC**

LOCATION:  
**156-160 WAYNE AVENUE, SUFFERN, NY 10901**

JURISDICTION:  
**VILLAGE OF SUFFERN  
TOWN OF RAMAPO  
COUNTY OF ROCKLAND  
STATE OF NEW YORK**

TAX LOT:  
**SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2**

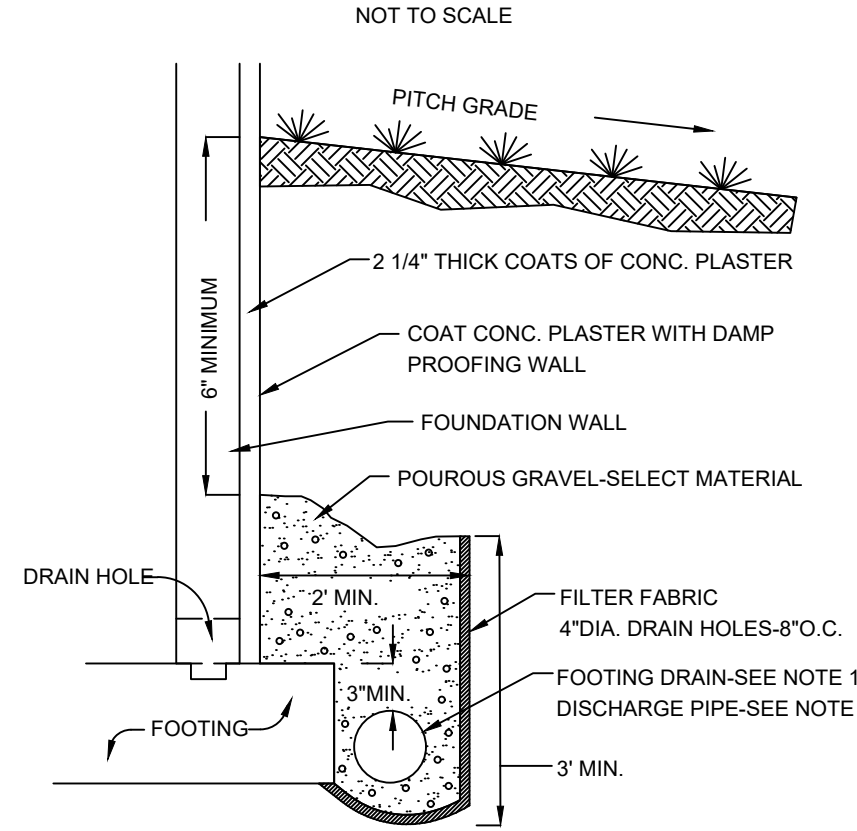
LOT AREA:  
**3.0343ACRES 132,177.54 SQ.FT.**

DRAWN BY: SCALE: PROJECT NO.:  
MYL 1"=30' 25-079

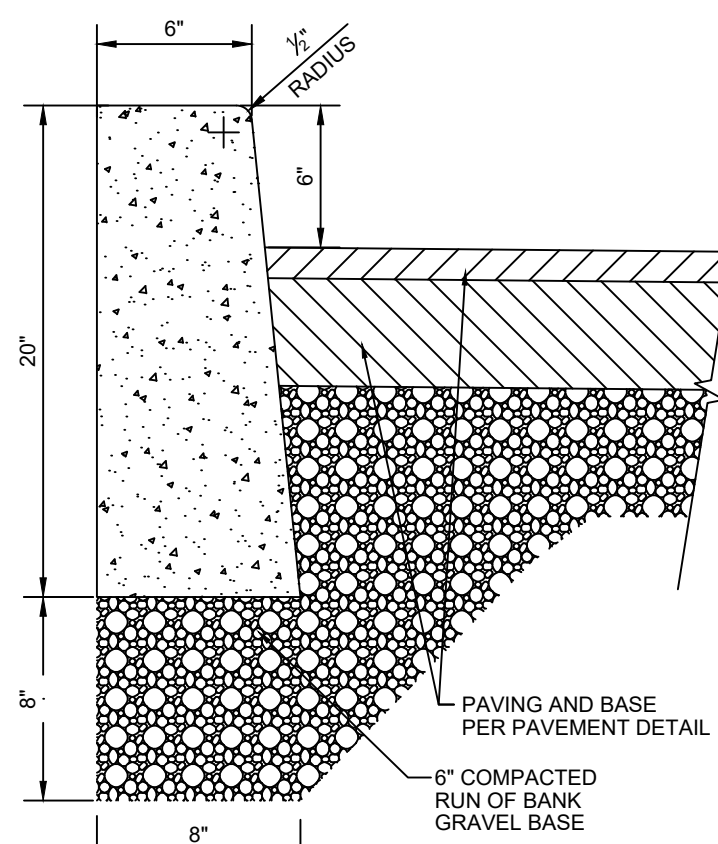
CHECKED BY: ORIGINAL DATE SHEET:  
JJ 07/15/2025

APPROVED BY: LAST REVISED: SHEET:  
MJC 02/01/2025 **C11** OF 15

**FOOTING DRAIN DETAIL**

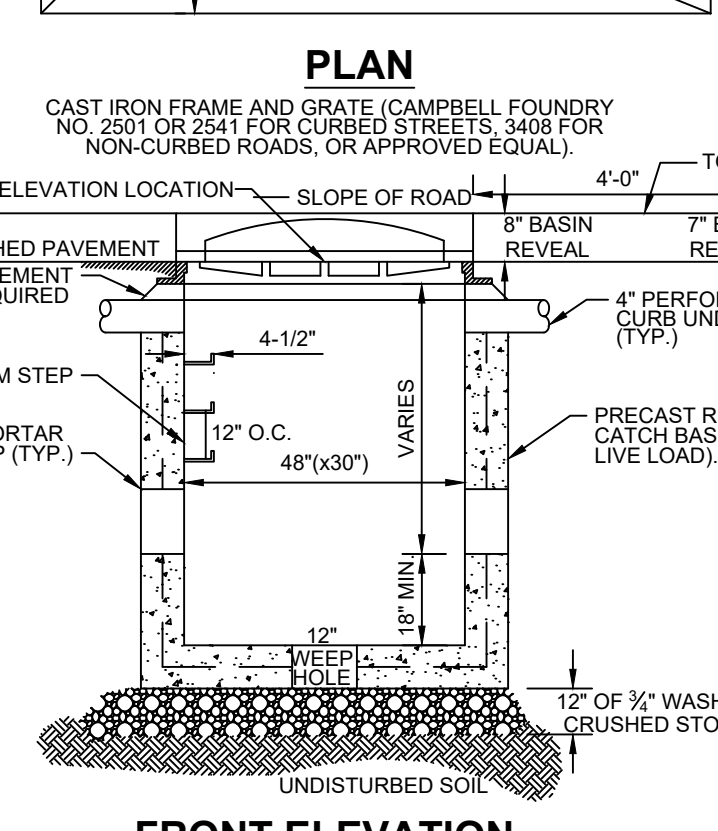
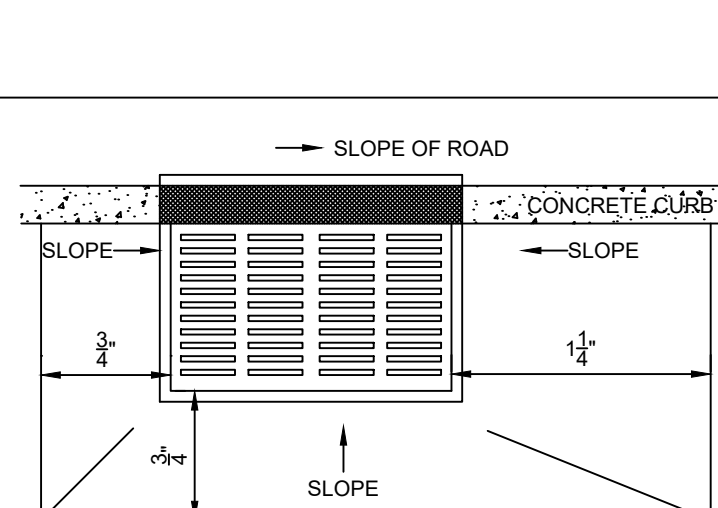


- FOOTING DRAIN NOTES:**
- FOOTING DRAIN: MIN. SLOPE 0.5%; PERFORATED 4\"/>
  - DISCHARGE PIPE: MIN. SLOPE 1.0%; 4\"/>
  - SEE ARCHITECTURAL PLANS FOR FOOTING AND FOUNDATION WALL DESIGN.

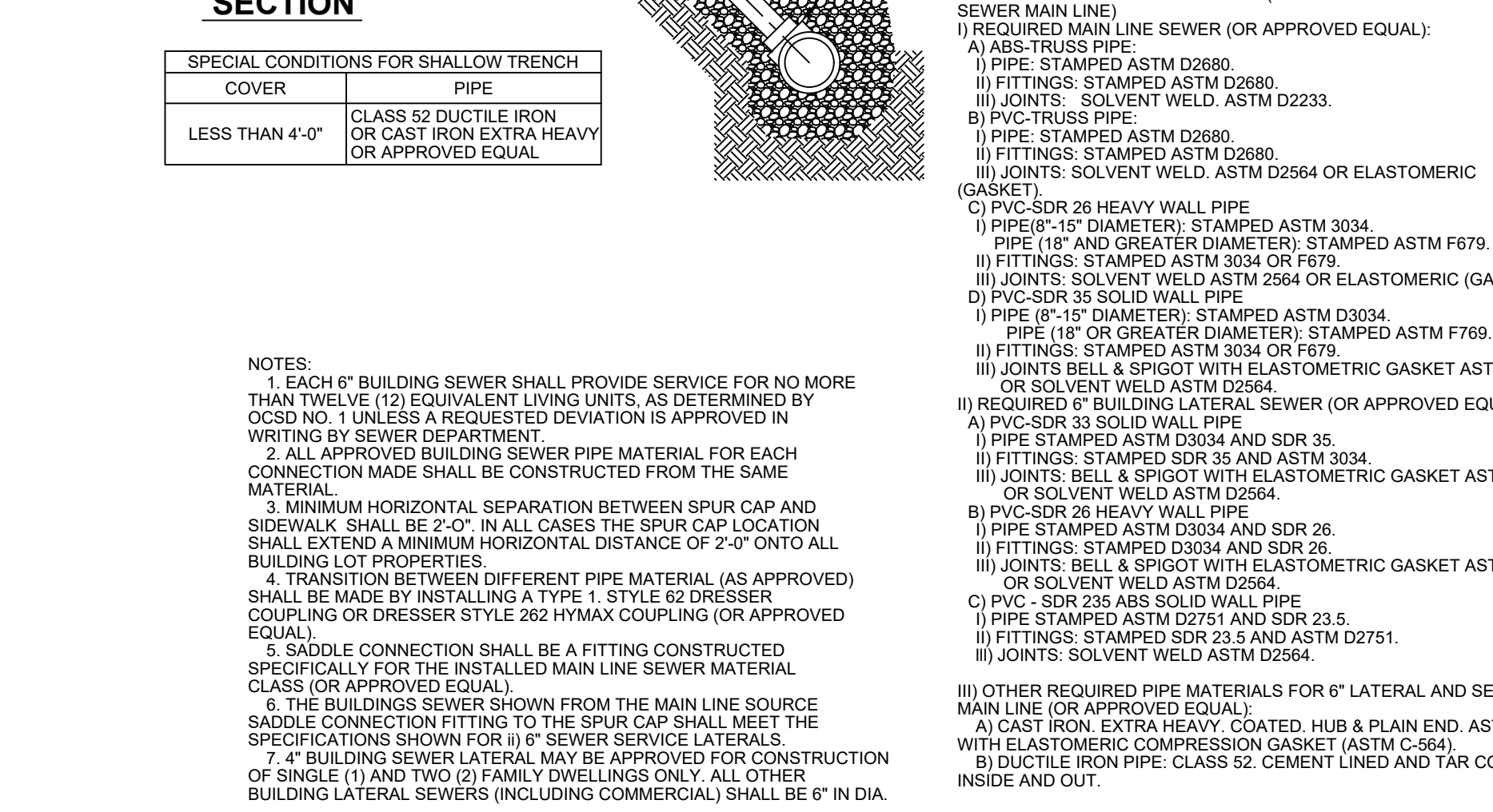
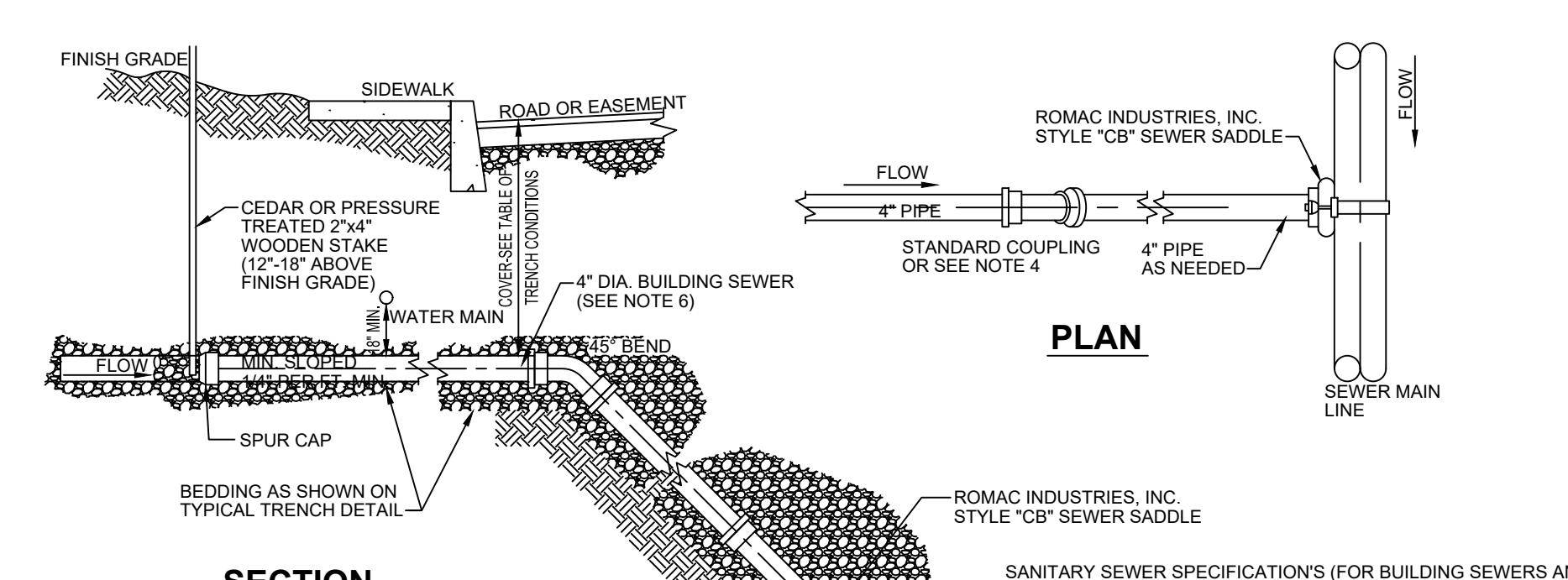


- CONCRETE CURB DETAIL (WITHIN SITE)**
- NOT TO SCALE
- NOTES:
- CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
  - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4.12% FOR A 1\"/>

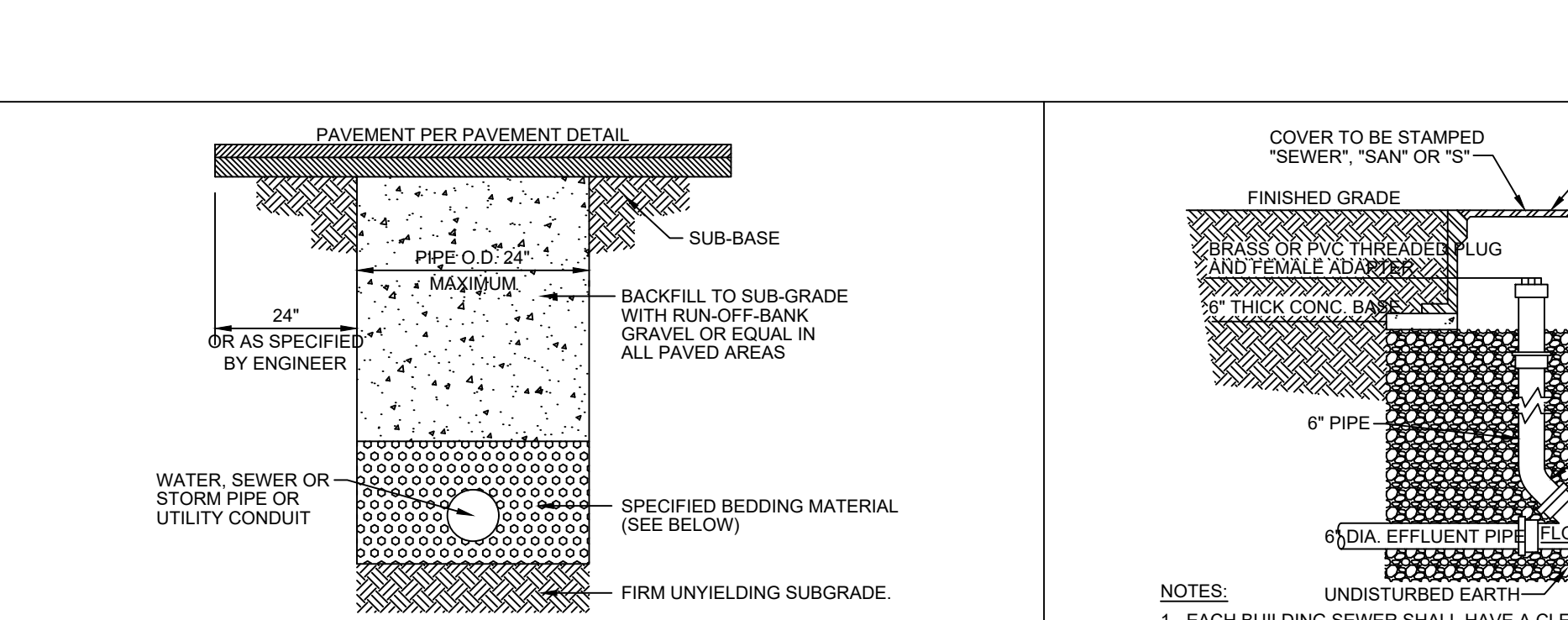
**CONCRETE CURB DETAIL (WITHIN SITE)**



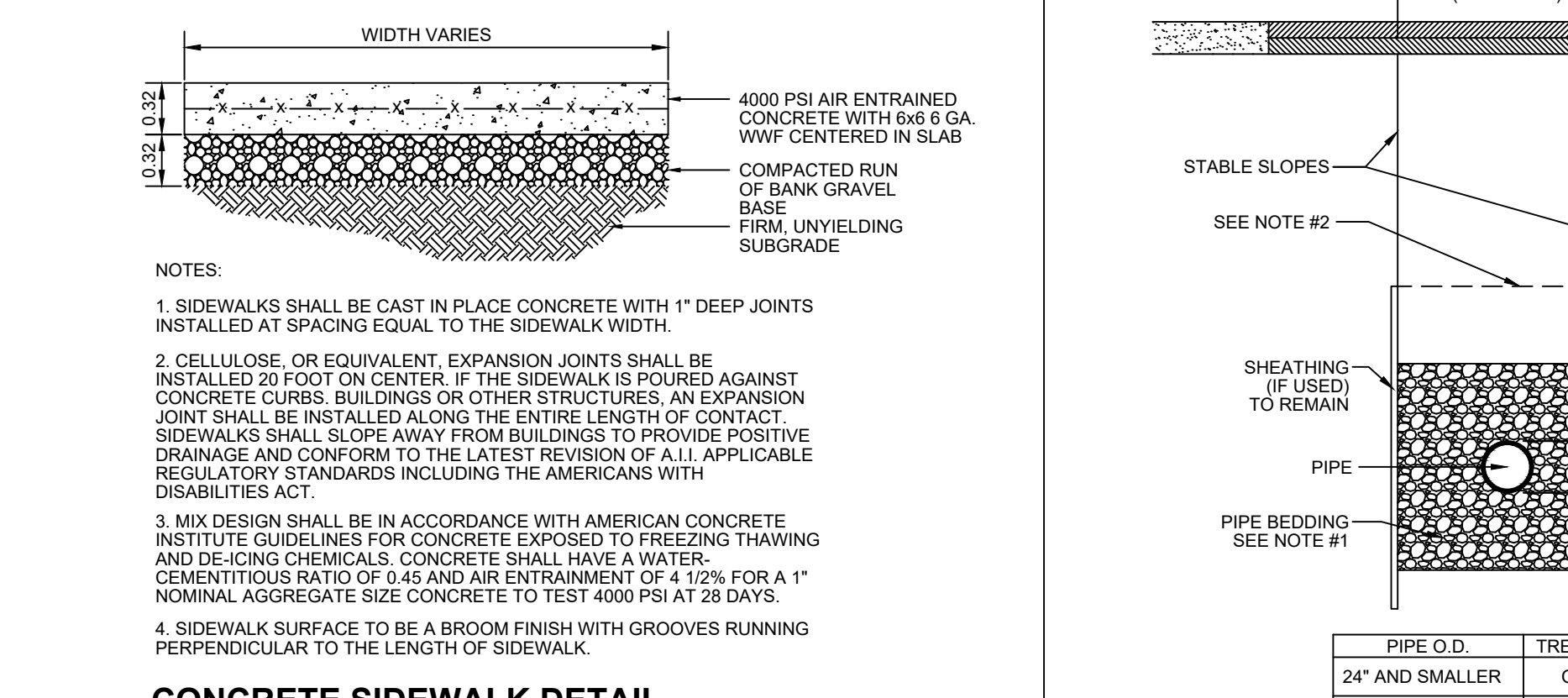
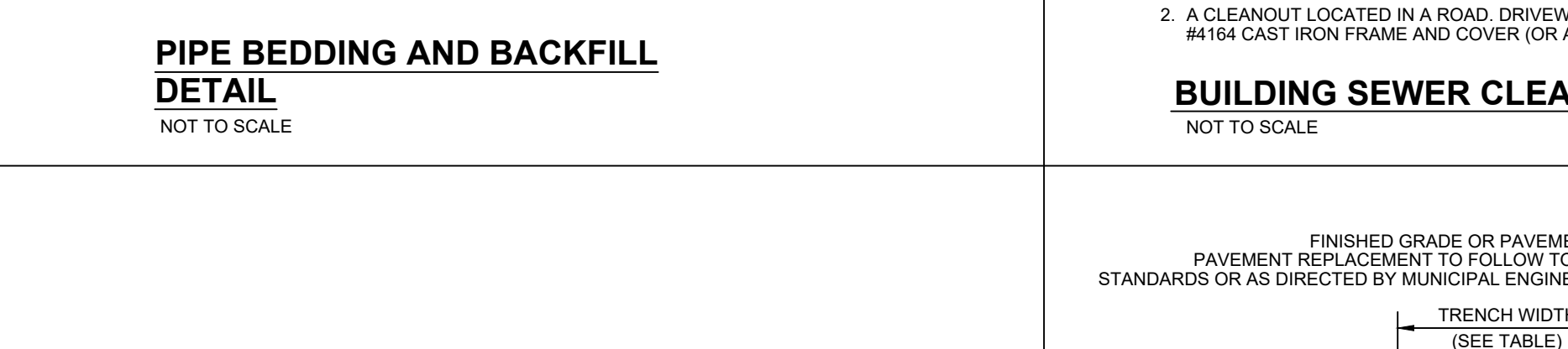
- PRECAST CONCRETE CURB INLET DETAIL**
- NOT TO SCALE
- NOTES:
- BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX. 8\"/>
  - THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF CATCH BASIN AND ADEQUATELY MORTARED.
  - PRECAST CONCRETE TO BE 4000 PSI @ 28 DAYS.



**SEWER MAIN CONNECTION DETAIL**



**BUILDING SEWER CLEAN-OUT DETAIL**

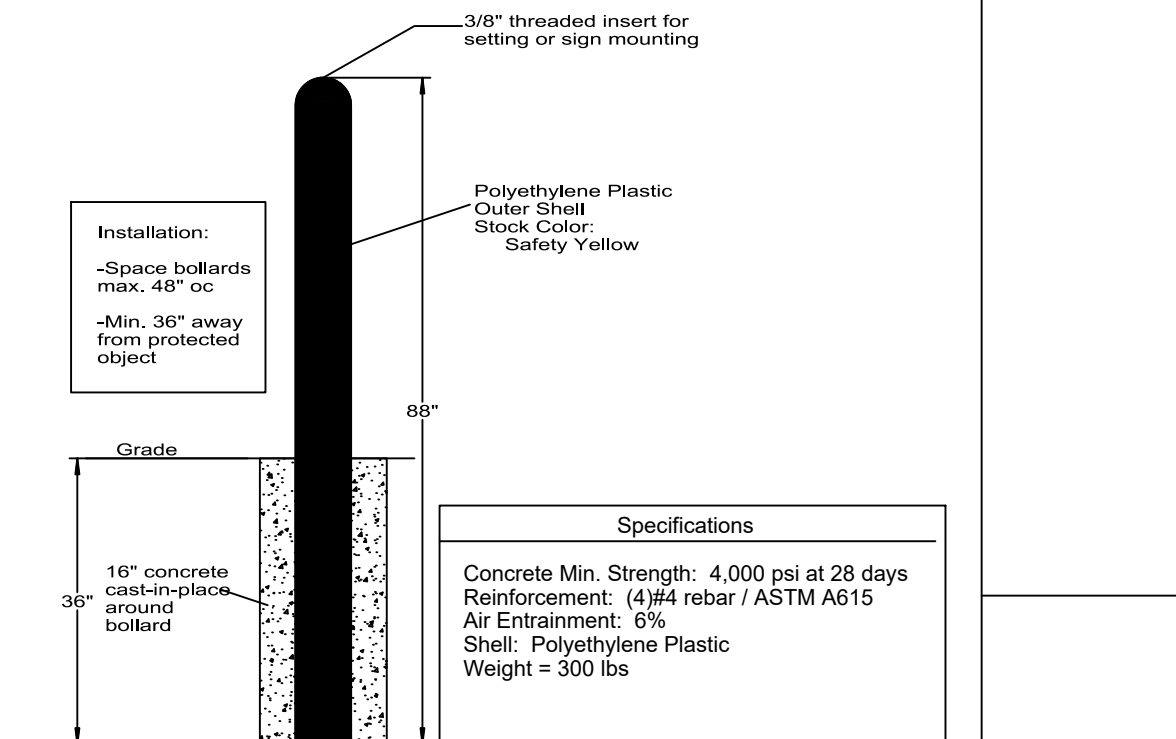


**CONCRETE SIDEWALK DETAIL**

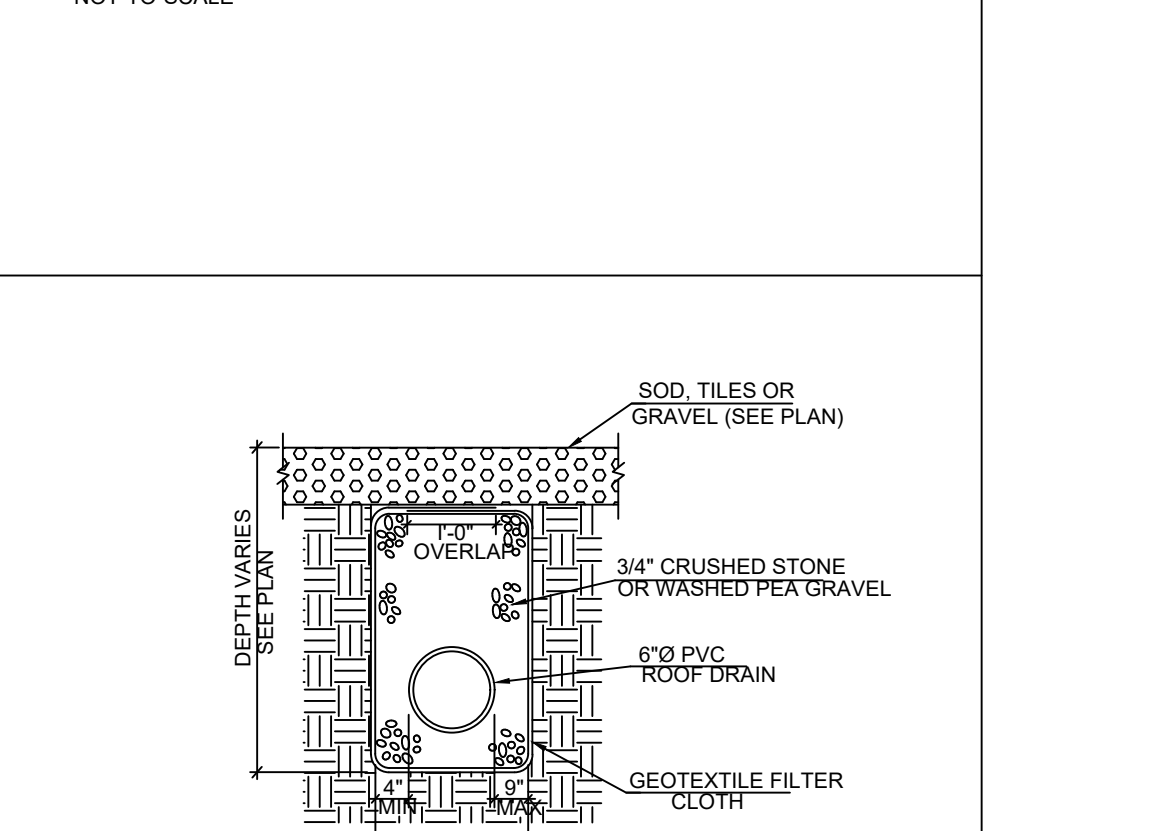
**TYPICAL TRENCH DETAIL (SANITARY SEWER)**

NOT TO SCALE

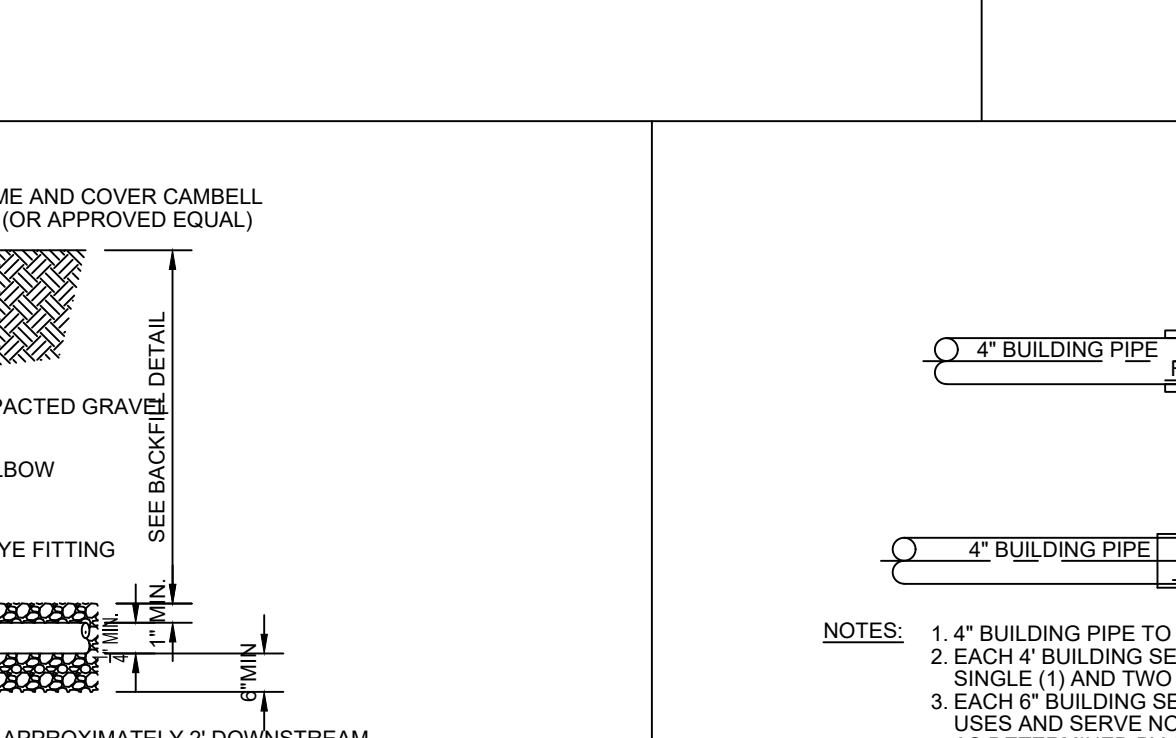
PIPE O.D.	TRENCH WIDTH
24\"/>	O.D. + 1'-4\"/>
30\"/>	O.D. + 2'-0\"/>



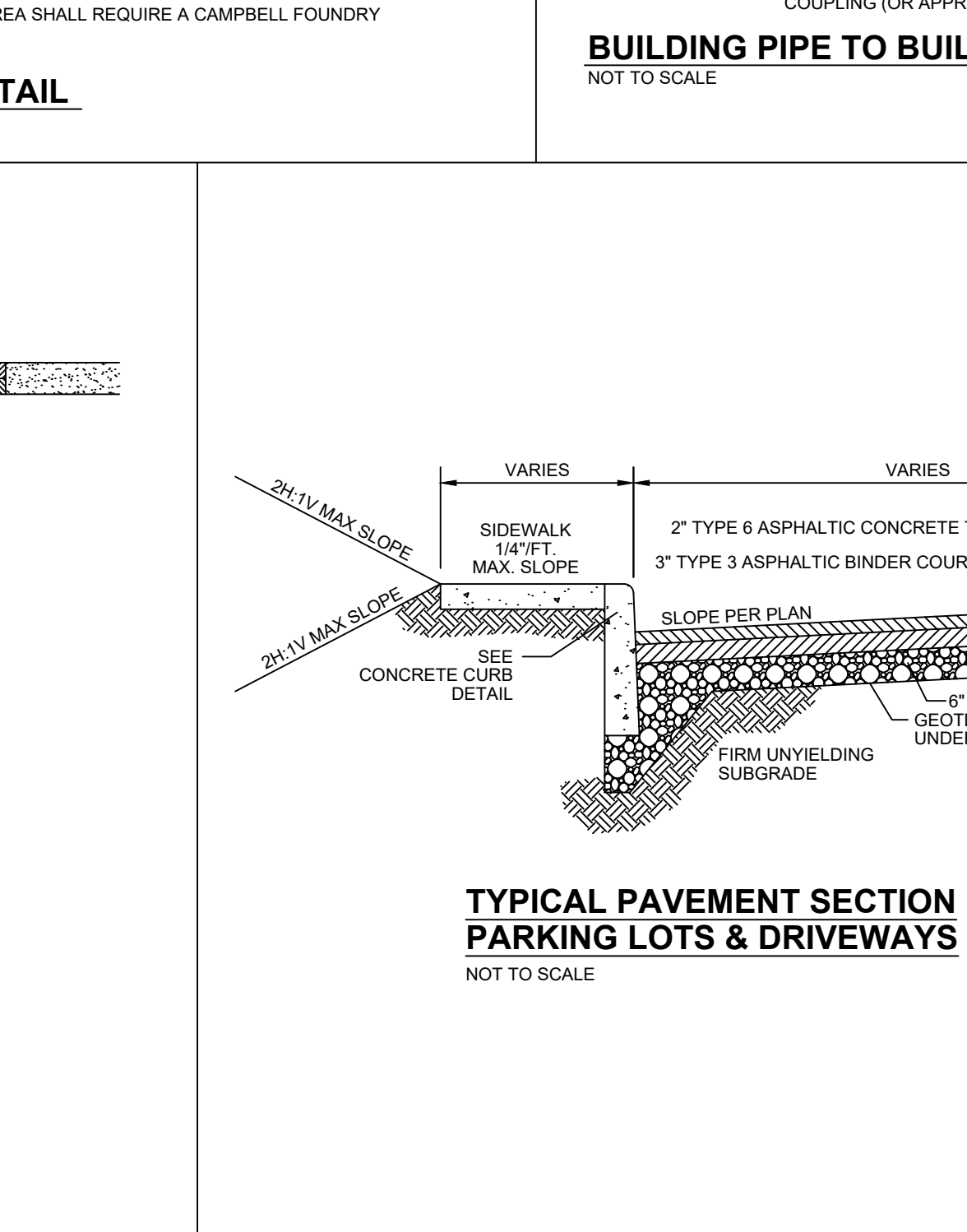
**BOLLARDS DETAIL TYP.**



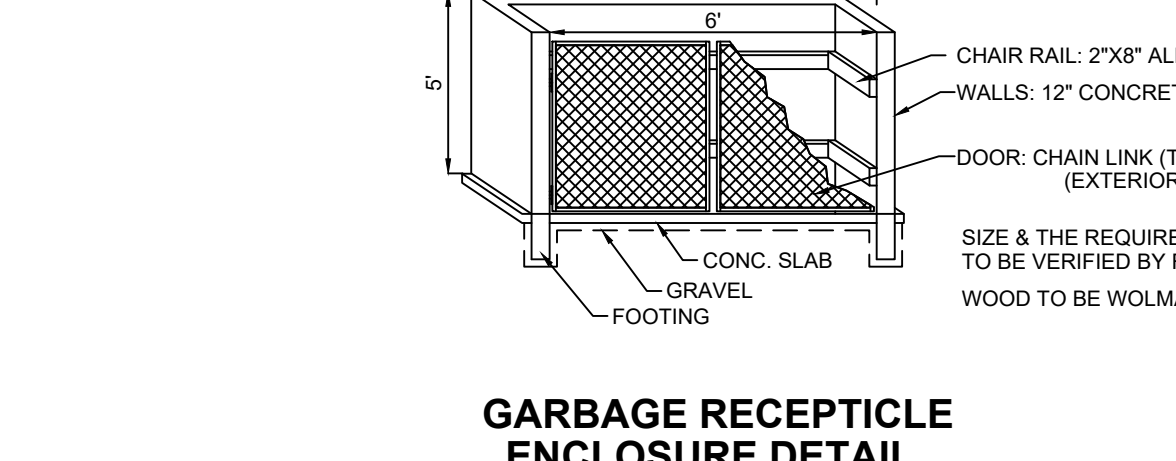
**ROOF DRAIN PIPE TRENCH DETAIL**



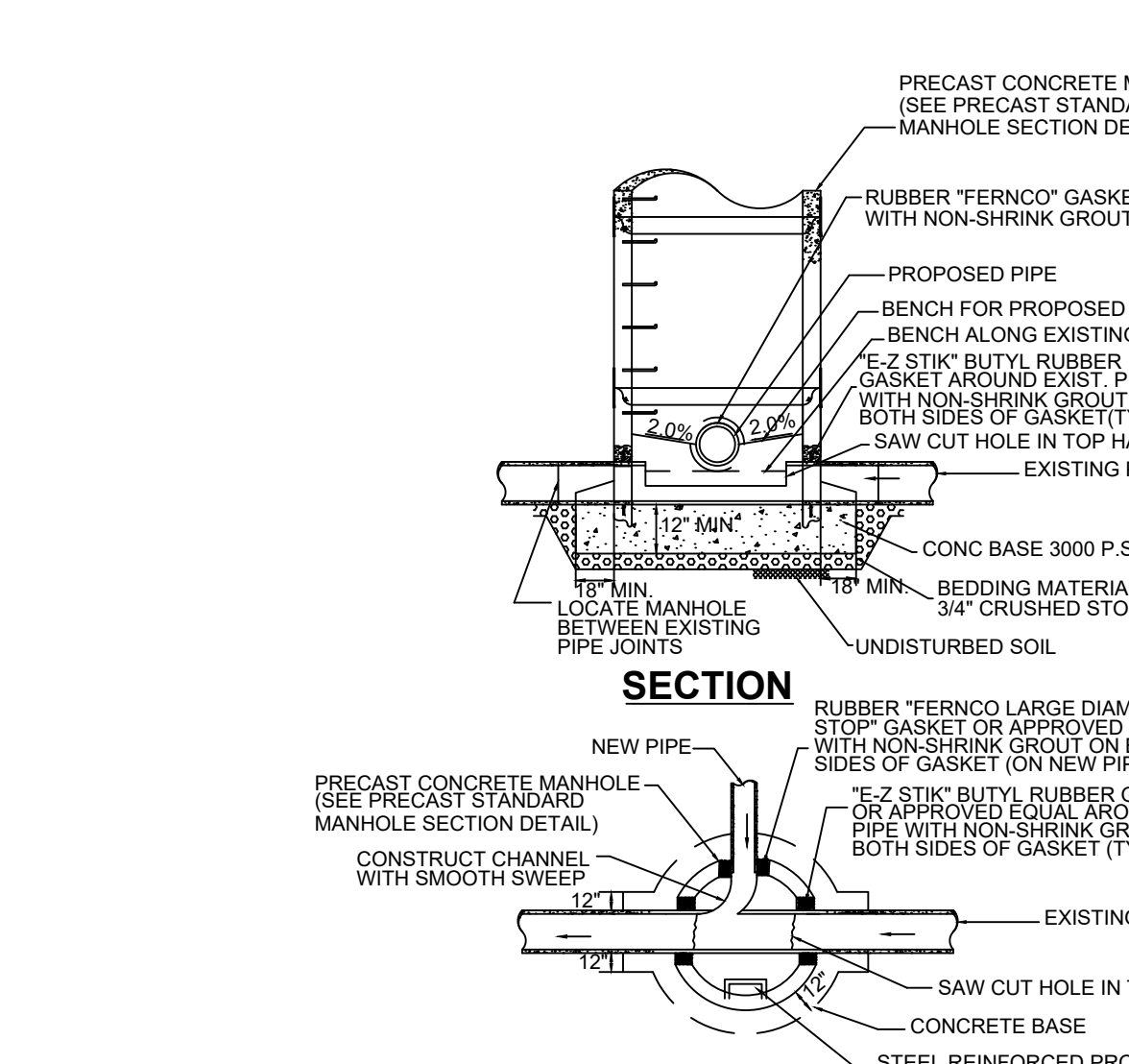
**BUILDING PIPE TO BUILDING SEWER CONNECTION**



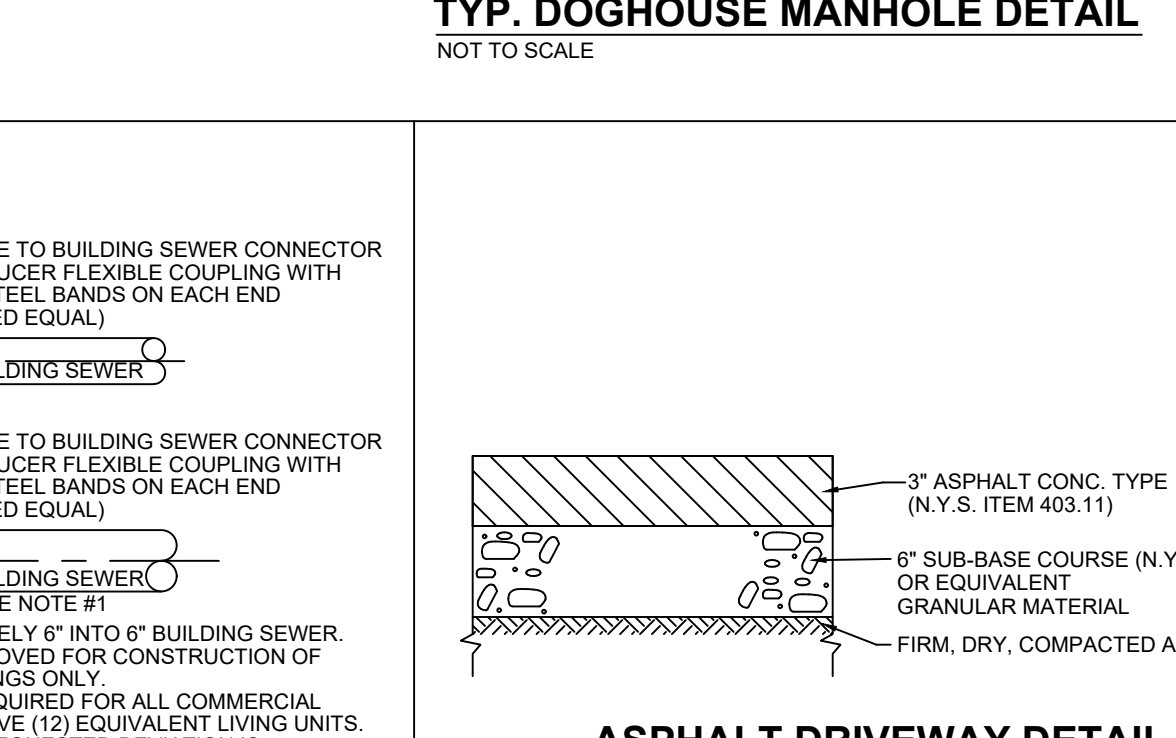
**TYPICAL PAVEMENT SECTION PARKING LOTS & DRIVEWAYS**



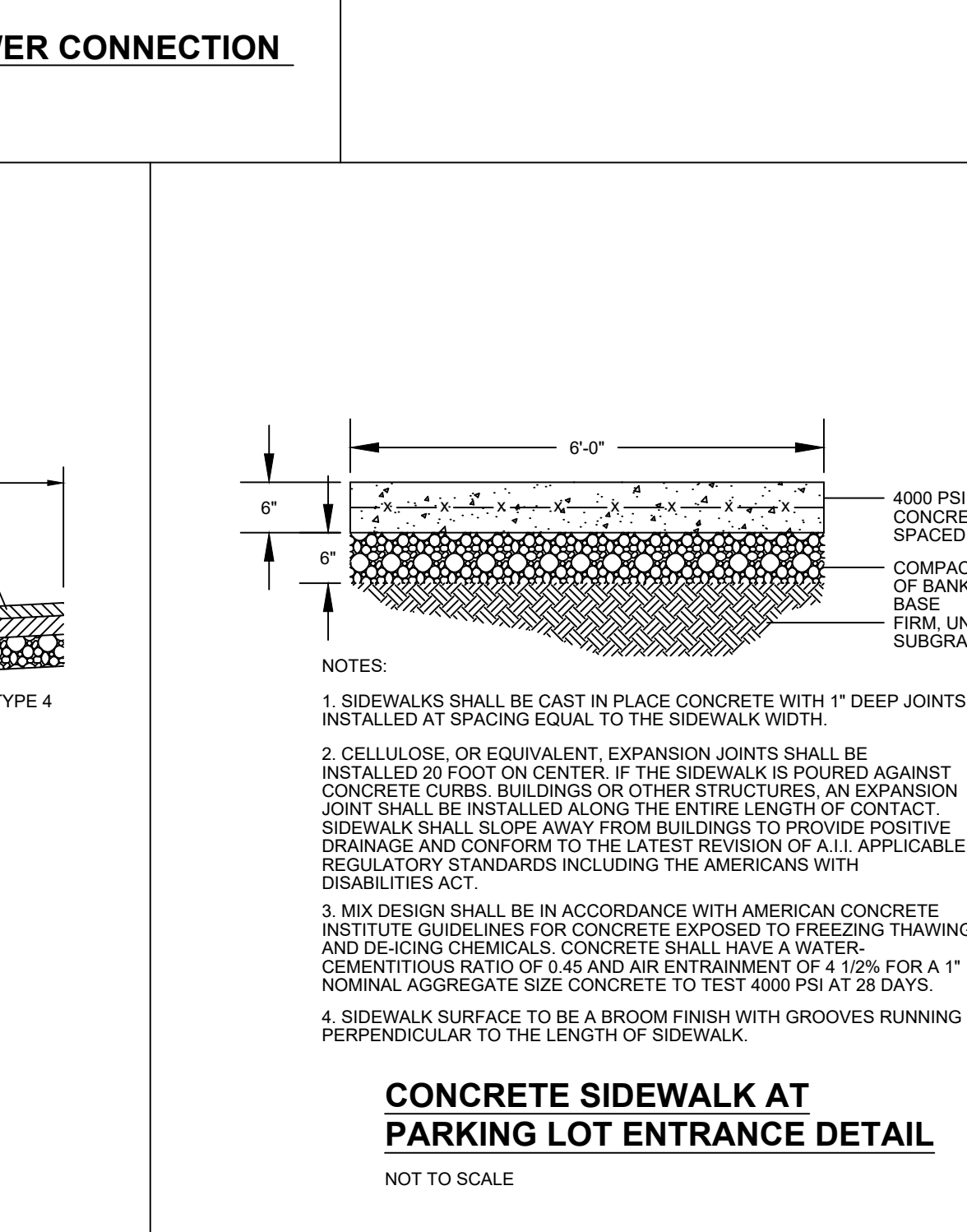
**GARBAGE RECEPTACLE ENCLOSURE DETAIL**



**TYP. DOGHOUSE MANHOLE DETAIL**



**ASPHALT DRIVEWAY DETAIL**



**CONCRETE SIDEWALK AT PARKING LOT ENTRANCE DETAIL**

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3	03/31/2026	REVISED PER PB
2	01/07/2026	REVISED PER PB
1	10/31/2025	REVISED PER PB

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35 Goshen TPK, Bloomingburg, NY 17271  
845-458-1565  
cjconsultingengineers35@gmail.com

CLIENT-APPLICANT:	SCOHEN BROOKLYN LLC 95 SMITH HILL RD AIRMONT, NY 10952
OWNER:	SCOHEN BROOKLYN LLC 95 SMITH HILL RD AIRMONT, NY 10952
SHEET TITLE:	<b>CONSTRUCTION DETAILS</b>
PROJECT TITLE:	<b>WAYNE AVENUE LOW RISE TOWNHOUSES</b>
LANDS OF:	SCOHEN BROOKLYN LLC
LOCATION:	156-160 WAYNE AVENUE, SUFFERN, NY 10901
JURISDICTION:	VILLAGE OF SUFFERN TOWN OF RAMAPO COUNTY OF ROCKLAND STATE OF NEW YORK
TAX LOT:	SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2
LOT AREA:	3.0343± ACRES 132,177.54 SQ.FT.
DRAWN BY:	SCALE: PROJECT NO.: NTS 25-079
CHECKED BY:	ORIGINAL DATE: SHEET: JJ 07/15/2025
APPROVED BY:	LAST REVISED: <b>C12</b>
MJC	02/01/2026 PAGE 12 OF 15

# GRASSPAVE2 CUT SHEET

Flexible Plastice Porous Pavement



## PRODUCT DESCRIPTION

Grasspave2 protects and enhances the environment in three ways: First, made from 100% recycled plastic, Grasspave2 keeps common consumer and industrial products from going into landfills. Second, grass paving directly improves the environment by recharging water tables on site (reducing flooding hazards downstream), reducing sources of oils and solvents from asphalt, absorbing carbon dioxide, and creating oxygen. Third, it enhances the beauty and quality of the built environment – replacing hot asphalt paved areas with cool, sparking green lawn-like areas.

Grasspave2 has thin-walled independent plastic rings connected by an interlocking geogrid structure, which, because it is installed below the surface, is invisible in the completed project. While the rings are rigid, the grid itself is flexible, which makes it easy to install on uneven grades, and reduces usual cut and fill requirements.

The rings transfer loads from the surface to the grid structure and engineered base course material below, thus preventing compaction of the upper root zone of the grass. A single ring supports small loads, such as shoes; several rings support tires and large loads.

The rings also act to contain the root zone medium (sand) and prevent lateral migration away from tires, feet, or other loads. This protects the grass root system, enabling roots to grow deep into the porous base course. The result is healthy, green turf at the surface.

One person can easily install the Grasspave2 rolls at a rate of 70m<sup>2</sup> (750 ft<sup>2</sup>) per hour, plus time for base course preparation and grass installation (seeding, sod or sprigging). Step-by-step instructions are included in our Installation Instructions, which accompany each order.

## BENEFITS AND FEATURES

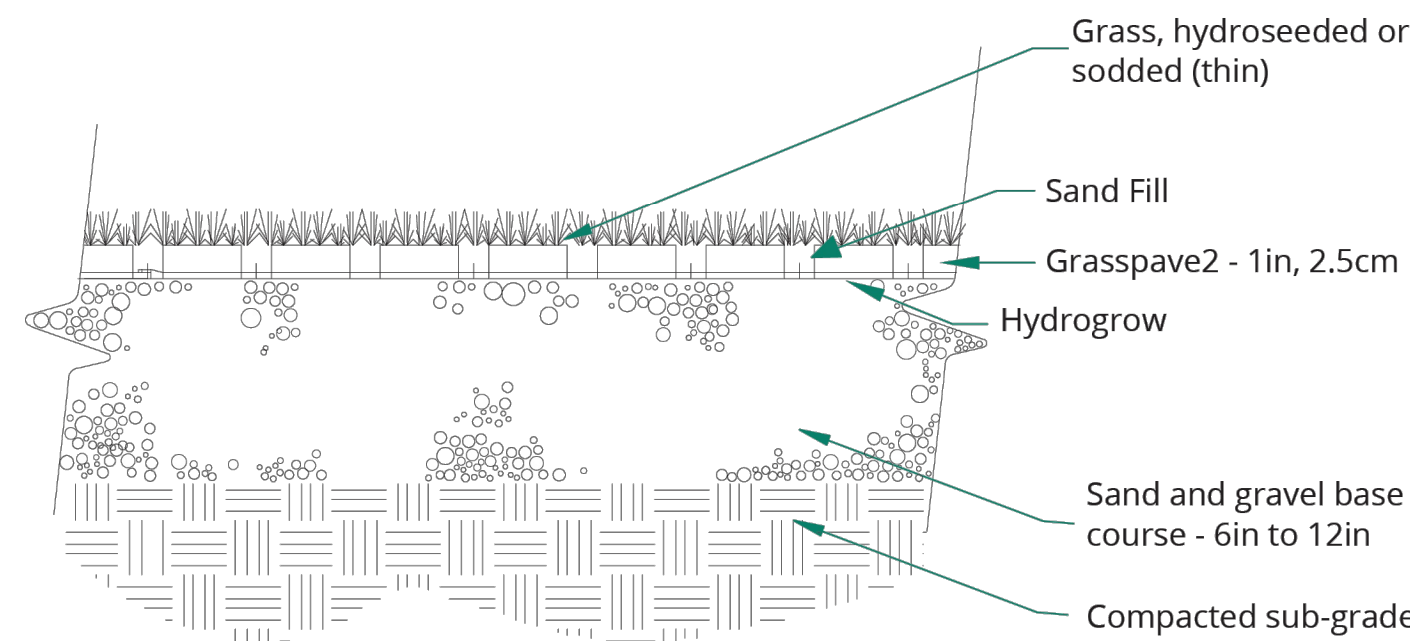
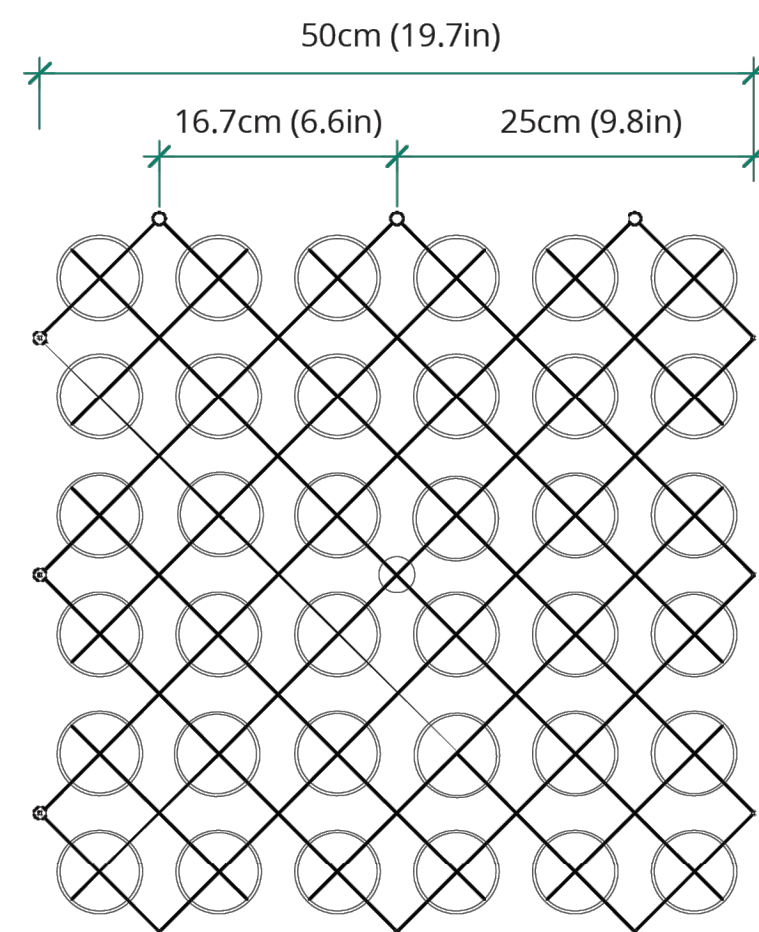
- Allows 100% grass coverage instead of asphalt
- Made from 100% post consumer plastic
- High strength to weight load-bearing capacity
- Supports vehicular and pedestrian traffic
- Lower life cycle costs
- Removes air pollutants
- Maximum porosity
- Low to zero runoff
- Free air/water movement
- Permits more trees
- Cooler site
- Greater oxygen
- Can preserve existing trees
- Helps to meet "Green Coverage Codes"
- Fast, low cost installation
- Competes in cost with asphalt paving
- No gutter and rain system needed
- No added land required for detention facilities

## APPLICATIONS

- Church/employee parking
- Overflow and event parking
- Golf cart paths
- Residential driveways
- Firelanes

## SPECIFICATIONS

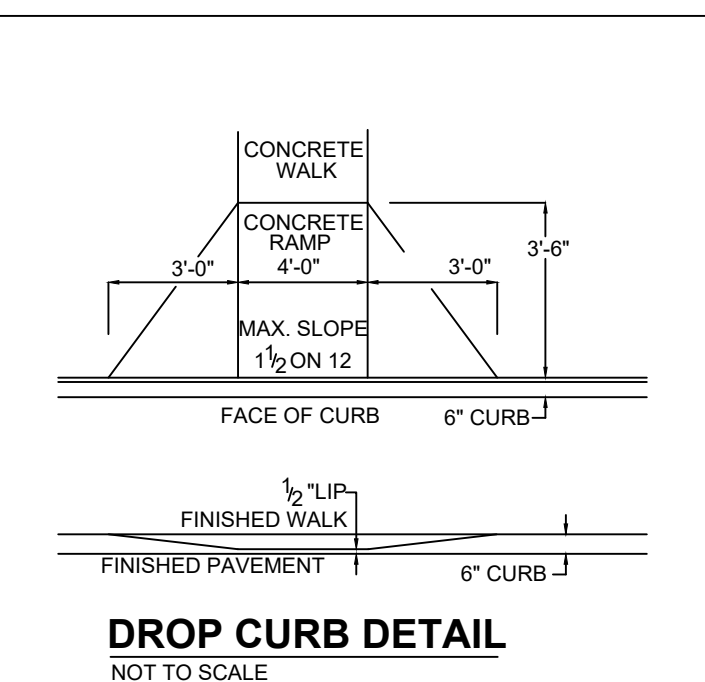
Unit Size – 20"x 20"x 1" (50 x 50 x 2.5cm)  
 Unit Weight – 18oz (510 grams)  
 Strength – 15,940 psi (109,906 kPa)  
 Connector Pull Apart Strength (Tensile) - 458 lbf/in  
 Color – Black  
 Resin – 100% recycled HDPE with 3% carbon black  
 Shipped in Rolls (430 sq. ft. standard, other roll sizes available)  
 92% Void Space (8% plastic by volume)



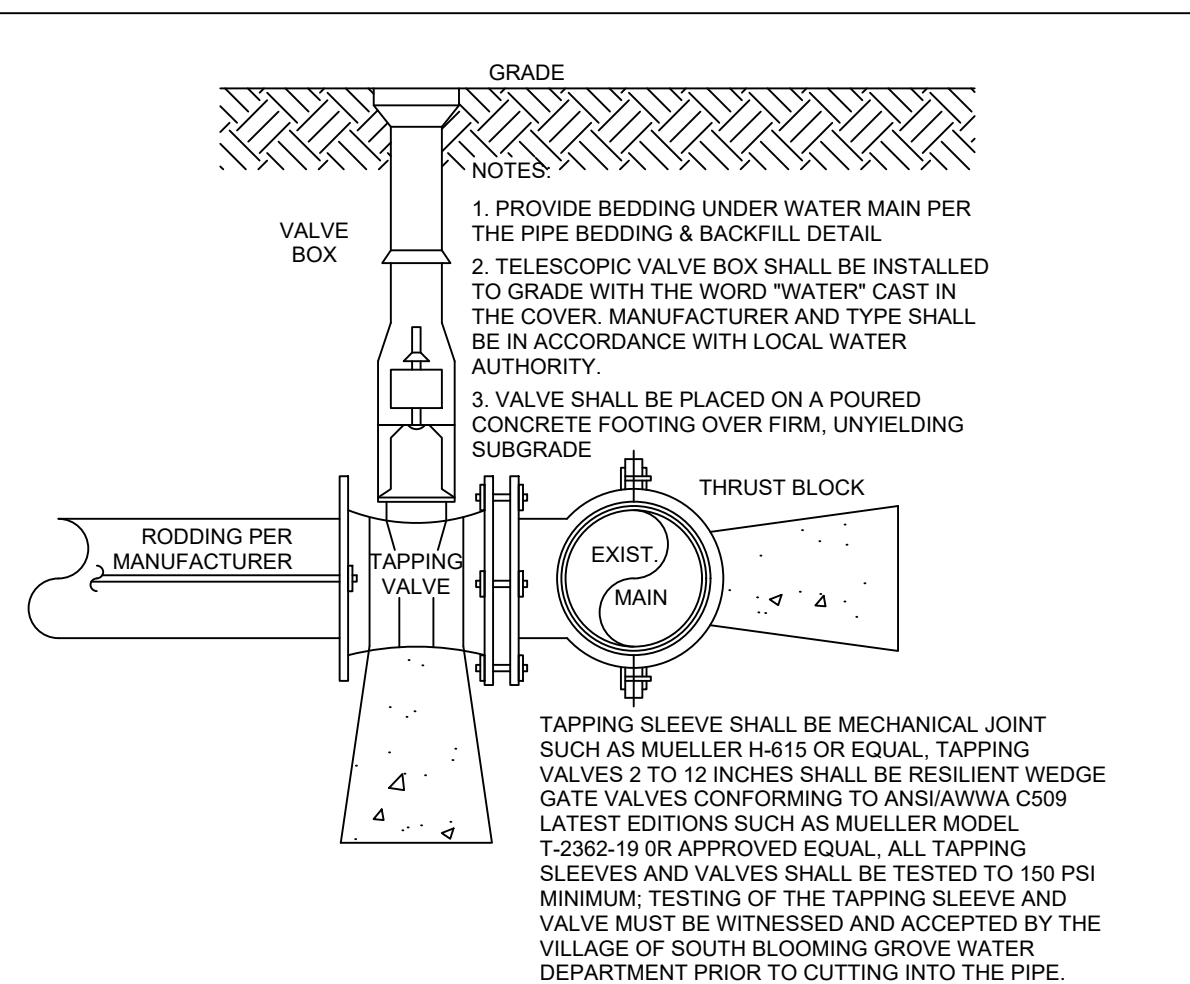
InvisibleStructures.com 303-233-8383



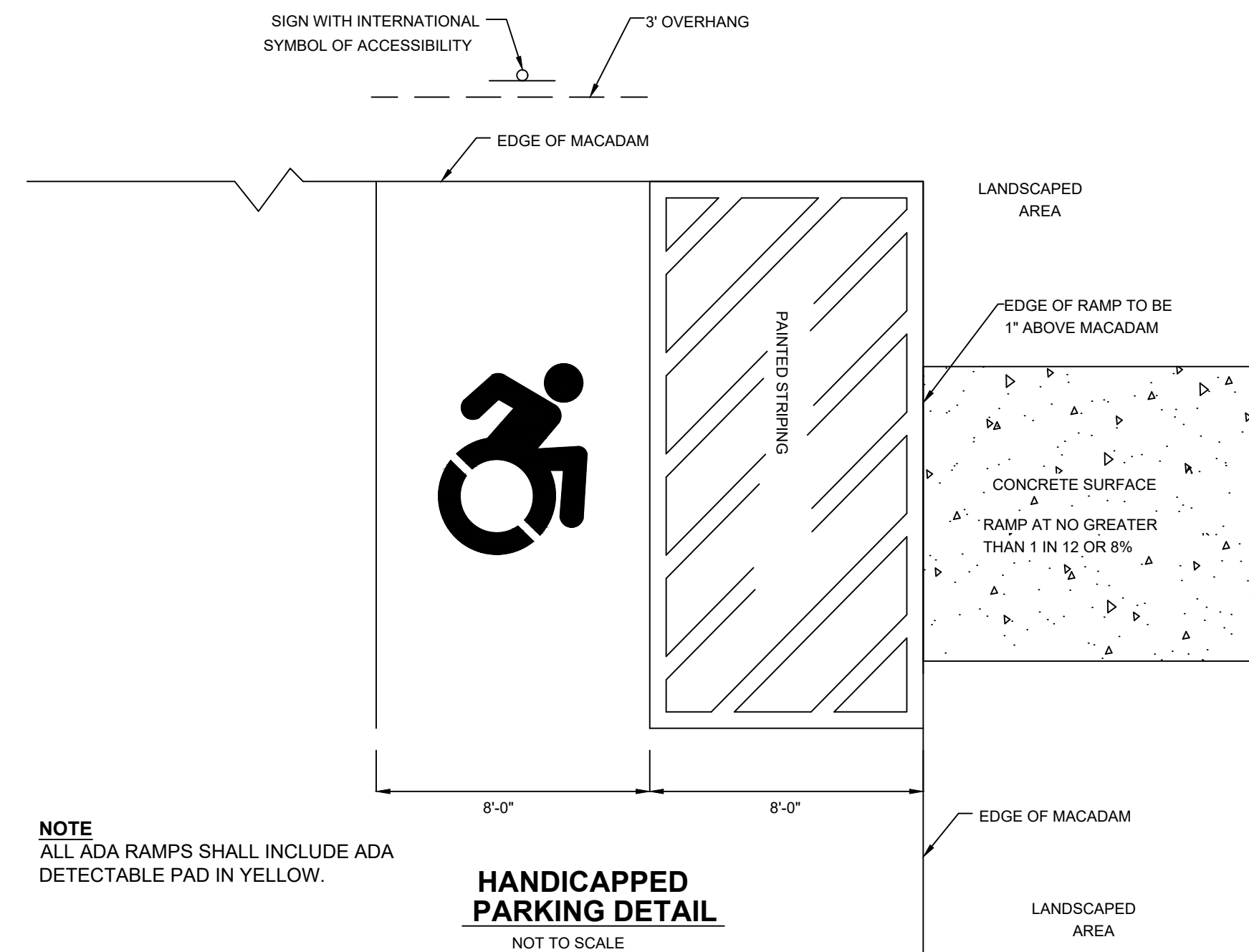
1 of 1



**DROP CURB DETAIL**  
NOT TO SCALE

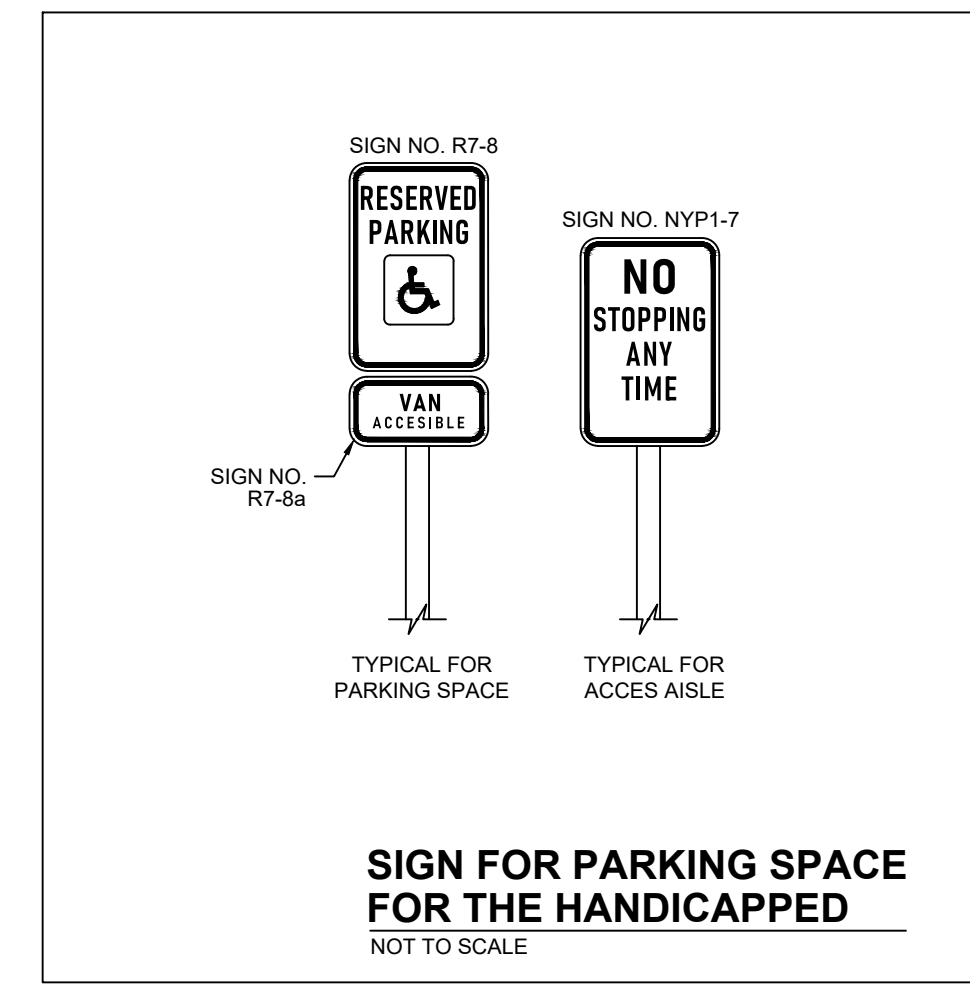


**WATER MAIN TAPPING VALVE DETAIL**  
NOT TO SCALE

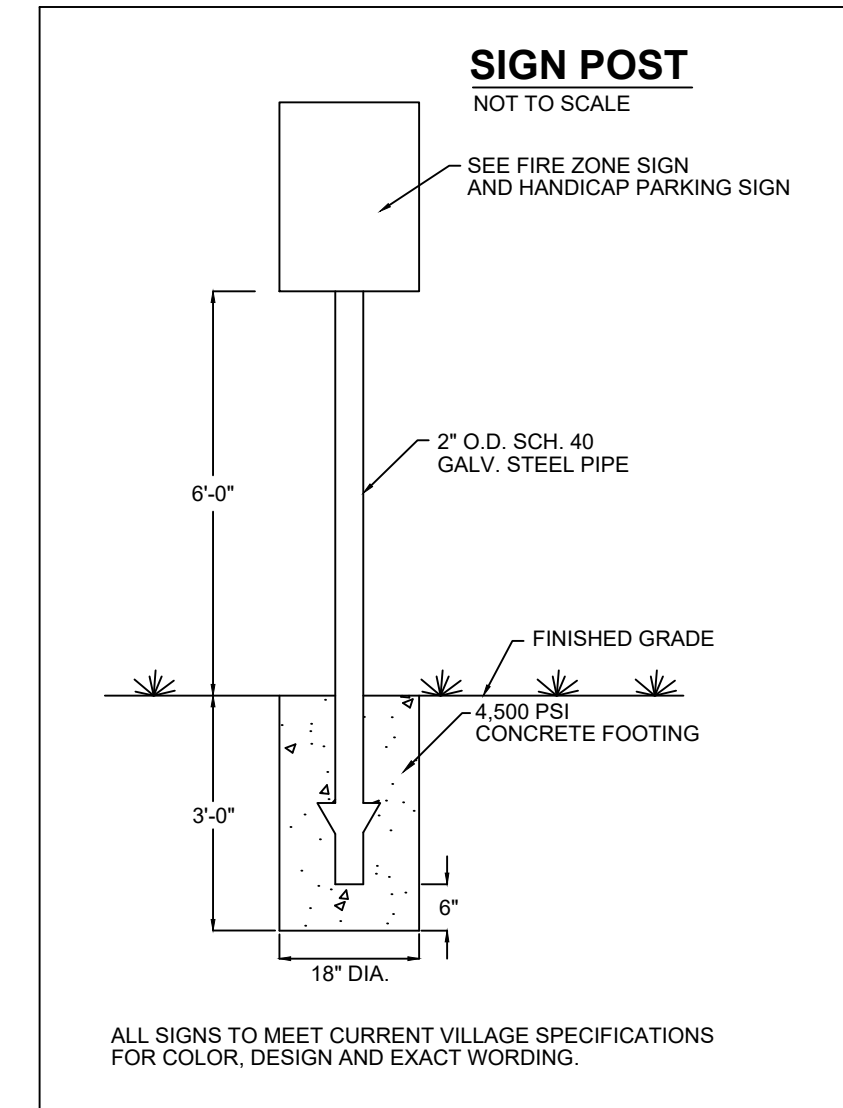


**NOTE**  
ALL ADA RAMP SHALL INCLUDE ADA DETECTABLE PAD IN YELLOW.

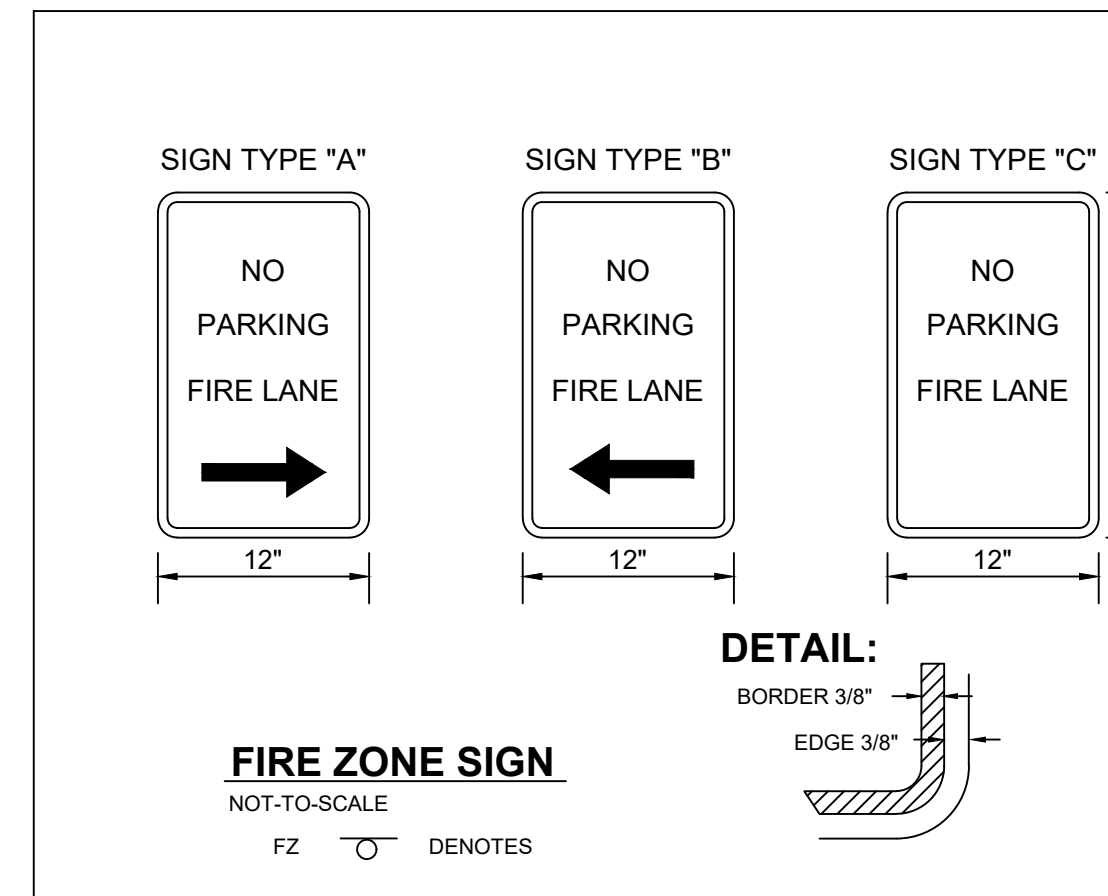
**HANDICAPPED PARKING DETAIL**  
NOT TO SCALE



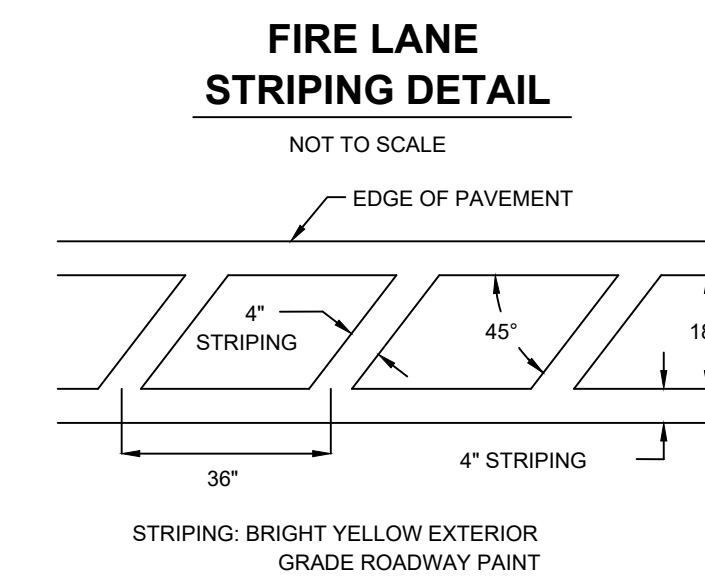
**SIGN FOR PARKING SPACE FOR THE HANDICAPPED**  
NOT TO SCALE



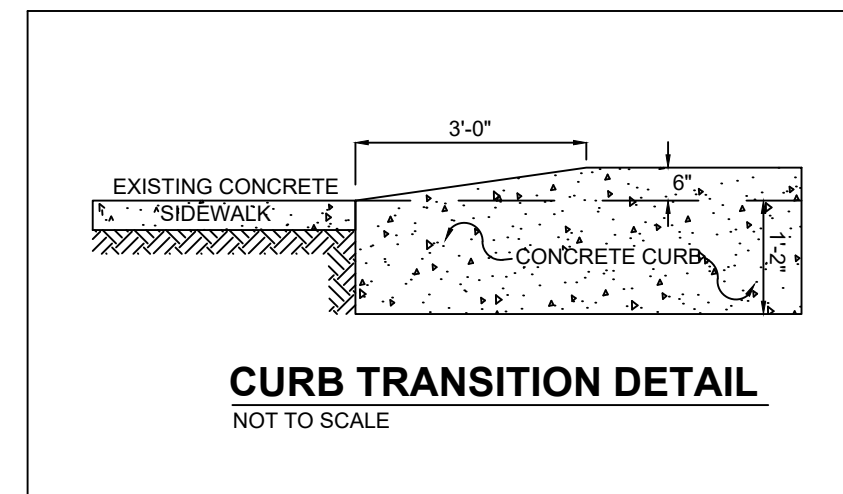
ALL SIGNS TO MEET CURRENT VILLAGE SPECIFICATIONS FOR COLOR, DESIGN AND EXACT WORDING.



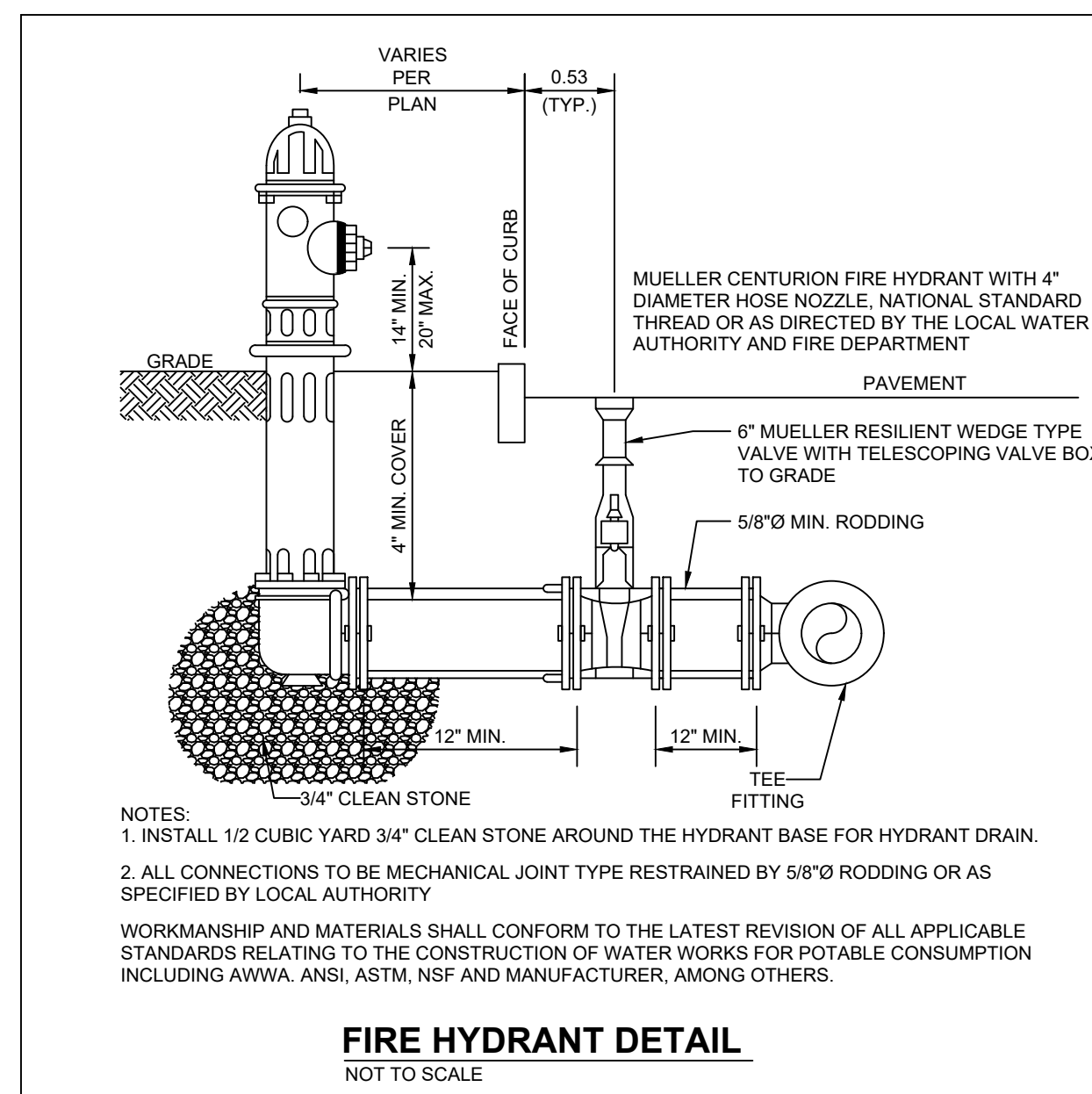
**FIRE ZONE SIGN**  
NOT-TO-SCALE  
FZ DENOTES



**FIRE LANE STRIPING DETAIL**  
NOT TO SCALE



**CURB TRANSITION DETAIL**  
NOT TO SCALE



**NOTES:**  
1. INSTALL 1/2 CUBIC YARD 3/4" CLEAN STONE AROUND THE HYDRANT BASE FOR HYDRANT DRAIN.  
2. ALL CONNECTIONS TO BE MECHANICAL JOINT TYPE RESTRAINED BY 5/8" RODDING OR AS SPECIFIED BY LOCAL AUTHORITY

WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST REVISION OF ALL APPLICABLE STANDARDS RELATING TO THE CONSTRUCTION OF WATER WORKS FOR POTABLE CONSUMPTION INCLUDING AWWA, ANSI, ASTM, NSF AND MANUFACTURER, AMONG OTHERS.

**FIRE HYDRANT DETAIL**  
NOT TO SCALE

#	DATE	ISSUED
---	------	--------

#	DATE	REVISION
3	03/31/2026	REVISED PER PB
2	01/07/2026	REVISED PER PB
1	10/31/2025	REVISED PER PB

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03/31/2026  
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NEW YORK STATE LIC. NO. 074611

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CLIENT-APPLICANT:

SCOHEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

OWNER:

SCOHEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

SHEET TITLE:

**DETAILS**

PROJECT TITLE:

**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:

SCOHEN BROOKLYN LLC

LOCATION:

156-160 WAYNE AVENUE, SUFFERN, NY 10901

JURISDICTION:

VILLAGE OF SUFFERN  
TOWN OF RAMAPO  
COUNTY OF ROCKLAND  
STATE OF NEW YORK

TAX LOT:

SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2

LOT AREA:

3.03432ACRES 132,177.54 SQ.FT.

DRAWN BY:

SCALE: PROJECT NO.:

NTS 25-079

CHECKED BY:

ORIGINAL DATE SHEET:

07/15/2025

APPROVED BY:

LAST REVISED: 02/01/2026

**C13**  
PAGE 13 OF 15

**MC-4500 STORMTECH CHAMBER SPECIFICATIONS**

- CHAMBERS SHALL BE STORMTECH MC-4500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT<sup>2</sup>%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS. TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SYSTEM SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTEXTILE SPECIALIST AND INSTALLED BY A QUALIFIED CONTRACTOR.

**IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-4500 CHAMBER SYSTEM**

- STORMTECH MC-4500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-4500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "MC-3500 & MC-4500 STORMTECH CHAMBER INSTALLATION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONESHOOTER LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE, AASHTO M43 #3, 357, 4, 467, 5, 56, OR 57.
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER DIFFER BY MORE THAN 12" (300 mm) BETWEEN ADJACENT CHAMBER ROWS.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

**NOTES FOR CONSTRUCTION EQUIPMENT**

- STORMTECH MC-4500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "MC-3500 & MC-4500 STORMTECH CHAMBER INSTALLATION GUIDE".
- THE USE OF EQUIPMENT OVER MC-4500 CHAMBERS IS LIMITED:
  - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
  - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "MC-3500 & MC-4500 STORMTECH CHAMBER INSTALLATION GUIDE".
  - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "MC-3500 & MC-4500 STORMTECH CHAMBER INSTALLATION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-800-821-6710 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

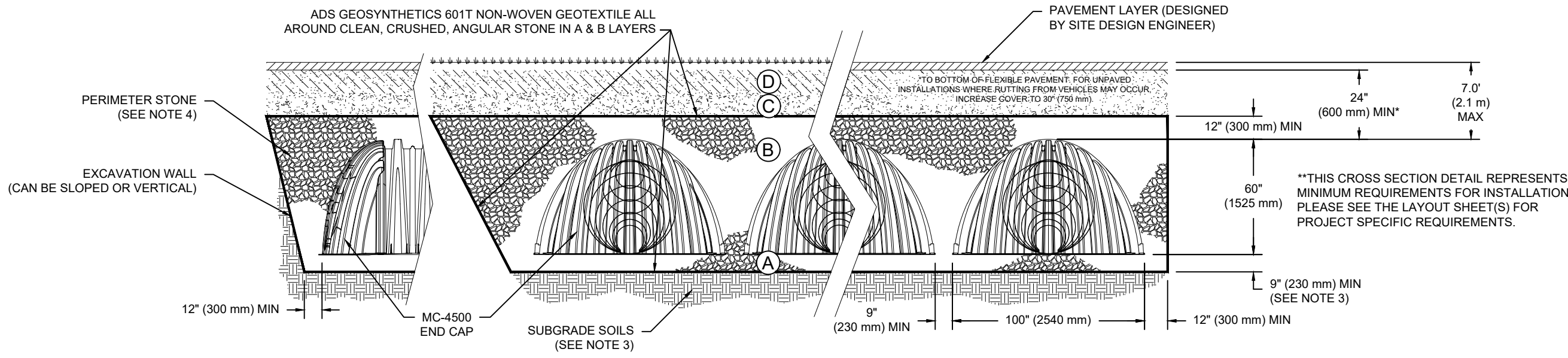
**ACCEPTABLE FILL MATERIALS: STORMTECH MC-4500 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE.  MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M143 <sup>1</sup> A-1, A-2, A-3  OR  AASHTO M43 <sup>2</sup>  3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE <sup>3</sup>	AASHTO M43 <sup>3</sup> 3, 357, 4, 467, 5, 56, 57	
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE <sup>3</sup>	AASHTO M43 <sup>3</sup> 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE <sup>2,3</sup>

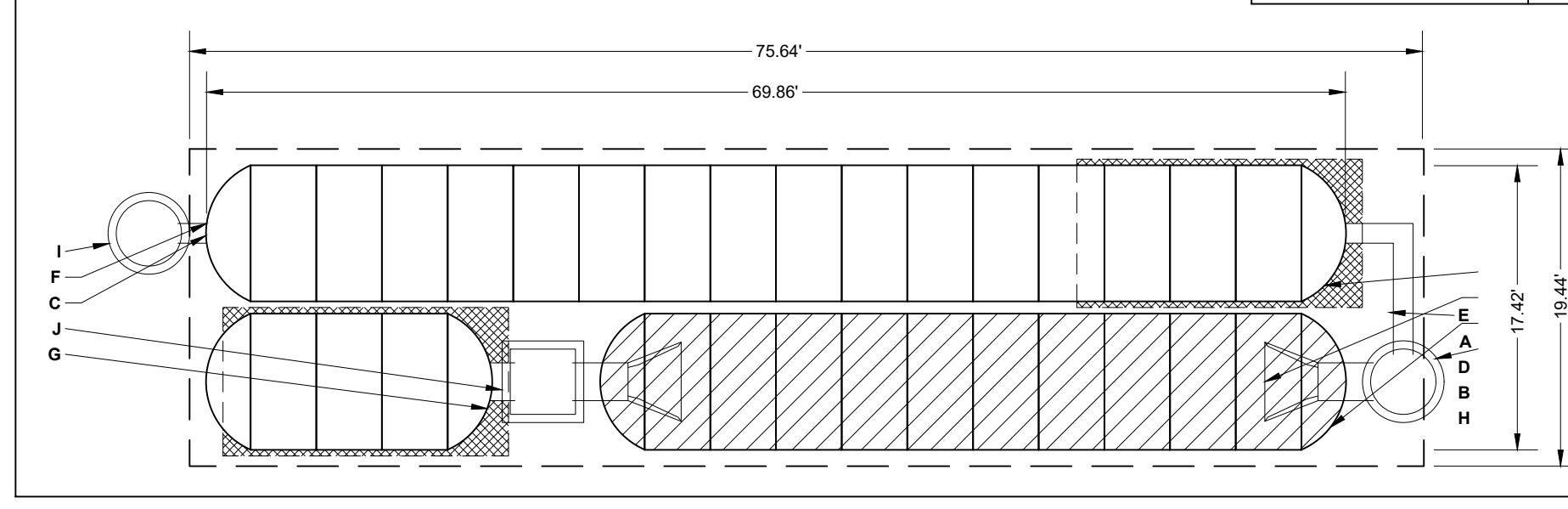
- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
  - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
  - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
  - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
  - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".

**NOTES:**

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101
- MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT<sup>2</sup>%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

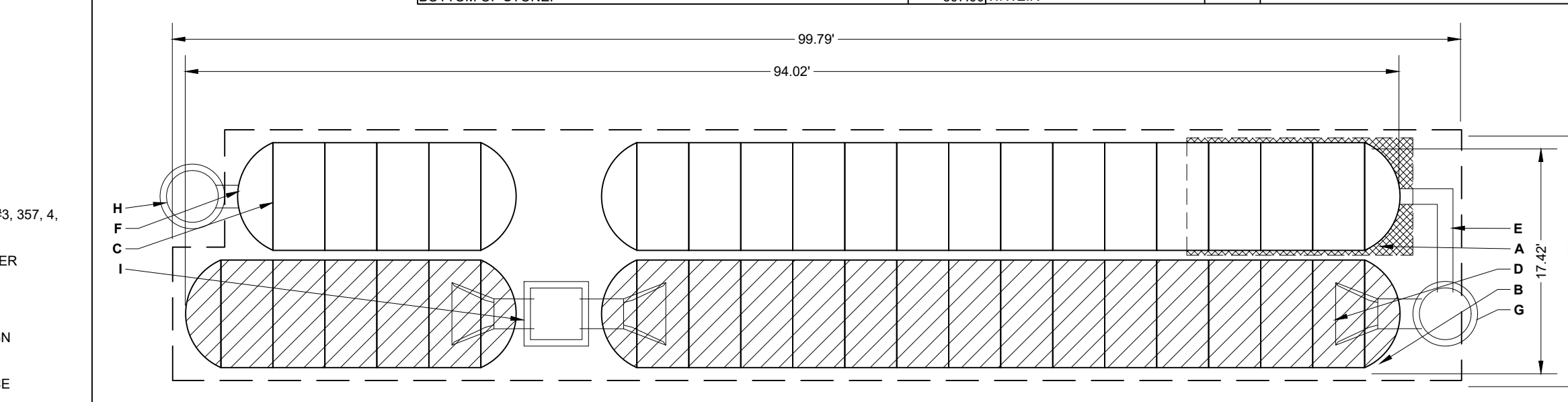


PROPOSED LAYOUT	PROPOSED ELEVATIONS	PART TYPE	ITEM ON LAYOUT	DESCRIPTION	INVERT	MAX FLOW	
29	STORMTECH MC-4500 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	317.00	PREFABRICATED END CAP	A	12" TOP PARTIAL CUT END CAP, PART#: MC4500EPP121 / TYP OF ALL 12" TOP CONNECTIONS	35.69'
8	STORMTECH MC-4500 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	312.50	PREFABRICATED END CAP	B	24" BOTTOM PARTIAL CUT END CAP, PART#: MC4500EPP24B / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	2.26'
12	STONE ABOVE (ft)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	312.00	PREFABRICATED END CAP	C	12" BOTTOM PARTIAL CUT END CAP, PART#: MC4500EPP12B / TYP OF ALL 12" BOTTOM CONNECTIONS	1.55'
9	STONE BELOW (ft)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	312.00	PREFABRICATED END CAP	C	12" BOTTOM PARTIAL CUT END CAP, PART#: MC4500EPP12B / TYP OF ALL 12" BOTTOM CONNECTIONS	1.55'
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	312.00	PREFABRICATED END CAP	C	12" BOTTOM PARTIAL CUT END CAP, PART#: MC4500EPP12B / TYP OF ALL 12" BOTTOM CONNECTIONS	1.55'
5061	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED)	TOP OF STONE:	311.00	FLAMP	D	INSTALL FLAMP ON 24" ACCESS PIPE / PART#: MCLAMP (TYP 2 PLACES)	
1489	SYSTEM AREA (SF)	TOP OF MC-4500 CHAMBER:	313.00	MANIFOLD	E	12" x 12" TOP MANIFOLD, ADS N-12	35.69'
190.1	SYSTEM PERIMETER (ft)	12" x 12" TOP MANIFOLD INVERT:	307.00	PIPE CONNECTION	F	18" BOTTOM CONNECTION	1.97'
		24" ISOLATOR ROW PLUS INVERT:	308.69	CONCRETE STRUCTURE	G	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	2.5 CFS IN
		18" BOTTOM CONNECTION INVERT:	308.00	CONCRETE STRUCTURE	H	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	2.0 CFS OUT
		12" BOTTOM CONNECTION INVERT:	305.30	CONCRETE STRUCTURE	I	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	
		TOP OF MC-4500 CHAMBER:	305.00	CONCRETE STRUCTURE	J	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	
		BOTTOM OF MC-4500 CHAMBER:	304.00	CONCRETE STRUCTURE	J	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	
		BOTTOM OF STONE:	307.00	W/WEIR			

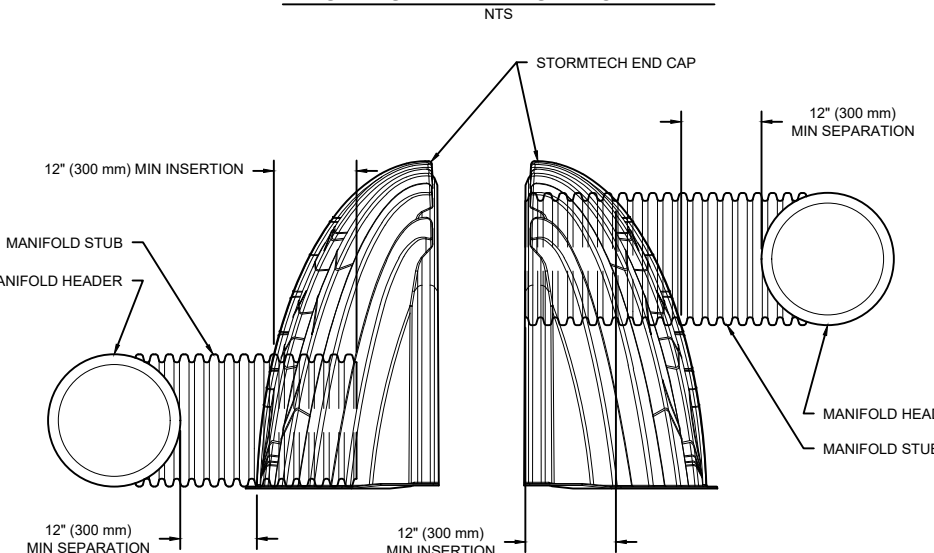


**NOTES**  
 1. THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.  
 2. NOT FOR CONSTRUCTION. THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

PROPOSED LAYOUT	PROPOSED ELEVATIONS	PART TYPE	ITEM ON LAYOUT	DESCRIPTION	INVERT	MAX FLOW	
37	STORMTECH MC-4500 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	320.50	PREFABRICATED END CAP	A	12" TOP PARTIAL CUT END CAP, PART#: MC4500EPP121 / TYP OF ALL 12" TOP CONNECTIONS	35.69'
8	STORMTECH MC-4500 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	316.00	PREFABRICATED END CAP	B	24" BOTTOM PARTIAL CUT END CAP, PART#: MC4500EPP24B / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	2.26'
12	STONE ABOVE (ft)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	315.50	PREFABRICATED END CAP	C	12" BOTTOM PARTIAL CUT END CAP, PART#: MC4500EPP12B / TYP OF ALL 12" BOTTOM CONNECTIONS	1.97'
18	STONE BELOW (ft)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	315.50	PREFABRICATED END CAP	C	12" BOTTOM PARTIAL CUT END CAP, PART#: MC4500EPP12B / TYP OF ALL 12" BOTTOM CONNECTIONS	1.97'
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	315.50	PREFABRICATED END CAP	C	12" BOTTOM PARTIAL CUT END CAP, PART#: MC4500EPP12B / TYP OF ALL 12" BOTTOM CONNECTIONS	1.97'
8257	INSTALLED SYSTEM VOLUME (CF) (COVER STONE INCLUDED)	TOP OF STONE:	314.50	FLAMP	D	INSTALL FLAMP ON 24" ACCESS PIPE / PART#: MCLAMP (TYP 3 PLACES)	
1901	SYSTEM AREA (SF)	TOP OF MC-4500 CHAMBER:	313.00	MANIFOLD	E	12" x 12" TOP MANIFOLD, ADS N-12	35.69'
230.4	SYSTEM PERIMETER (ft)	12" x 12" TOP MANIFOLD INVERT:	311.49	PIPE CONNECTION	F	18" BOTTOM CONNECTION	1.97'
		24" ISOLATOR ROW PLUS INVERT:	308.69	CONCRETE STRUCTURE	G	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	2.5 CFS IN
		18" BOTTOM CONNECTION INVERT:	308.00	CONCRETE STRUCTURE	H	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	4.0 CFS OUT
		12" BOTTOM CONNECTION INVERT:	308.50	CONCRETE STRUCTURE	I	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	
		TOP OF MC-4500 CHAMBER:	307.00	CONCRETE STRUCTURE	J	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	
		BOTTOM OF MC-4500 CHAMBER:	307.00	W/WEIR			



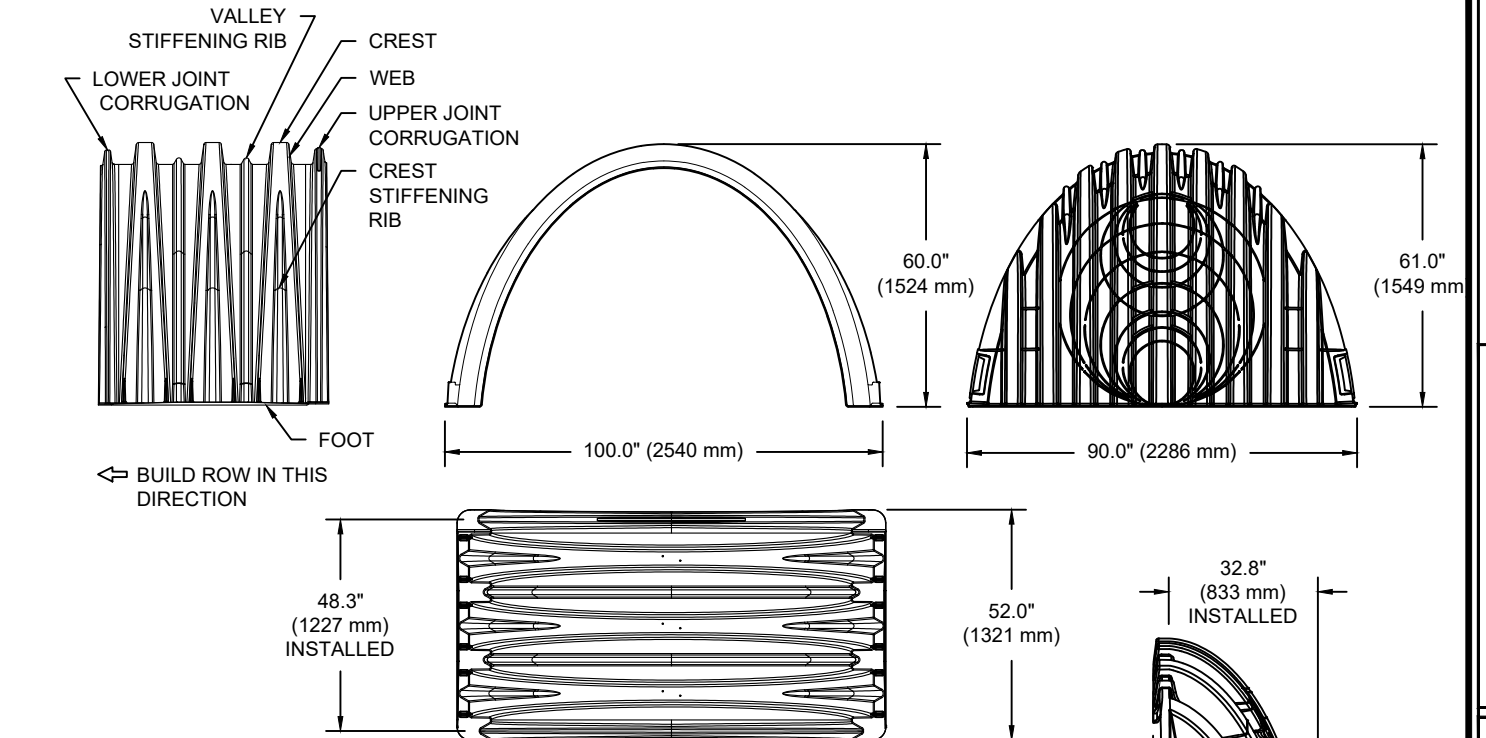
**MC-SERIES END CAP INSERTION DETAIL**



- ISOLATOR ROW PLUS (SEE DETAIL)
- PLACE MINIMUM 17.50' OF ADSPLUS125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

— BED LIMITS

**MC-4500 TECHNICAL SPECIFICATION**



**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT (NOMINAL)
100.0' X 60.0' X 48.3" (2540 mm X 1524 mm X 1227 mm)	106.5 CUBIC FEET (3.01 m <sup>3</sup> )	162.6 CUBIC FEET (4.60 m <sup>3</sup> )	125.0 lbs. (56.7 kg)

**NOMINAL END CAP SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT (NOMINAL)
90.0' X 61.0' X 32.8" (2286 mm X 1549 mm X 833 mm)	39.5 CUBIC FEET (1.12 m <sup>3</sup> )	115.3 CUBIC FEET (3.26 m <sup>3</sup> )	90.8 kg (200 lbs.)

\*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"  
 PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"  
 END CAPS WITH A PREFABRICATED WELDED STUB END WITH "V"

PART #	STUB	B	C
MC4500EPP06T	6" (150 mm)	42.54" (1081 mm)	---
MC4500EPP06B	---	---	0.96" (22 mm)
MC4500EPP08T	8" (200 mm)	40.50" (1029 mm)	---
MC4500EPP08B	---	---	1.01" (26 mm)
MC4500EPP10T	10" (250 mm)	38.37" (975 mm)	---
MC4500EPP10B	---	---	1.33" (34 mm)
MC4500EPP12T	12" (300 mm)	35.69" (907 mm)	---
MC4500EPP12B	---	---	1.55" (39 mm)
MC4500EPP15T	15" (375 mm)	32.72" (831 mm)	---
MC4500EPP15B	---	---	1.70" (43 mm)
MC4500EPP18T	18" (450 mm)	29.36" (746 mm)	---
MC4500EPP18B	---	---	1.97" (50 mm)
MC4500EPP18TW	---	---	---
MC4500EPP24T	24" (600 mm)	23.05" (585 mm)	---
MC4500EPP24B	---	---	2.26" (57 mm)
MC4500EPP24BW	---	---	2.95" (75 mm)
MC4500EPP36BW	36" (900 mm)	---	3.25" (83 mm)
MC4500EPP42BW	42" (1050 mm)	---	3.55" (90 mm)

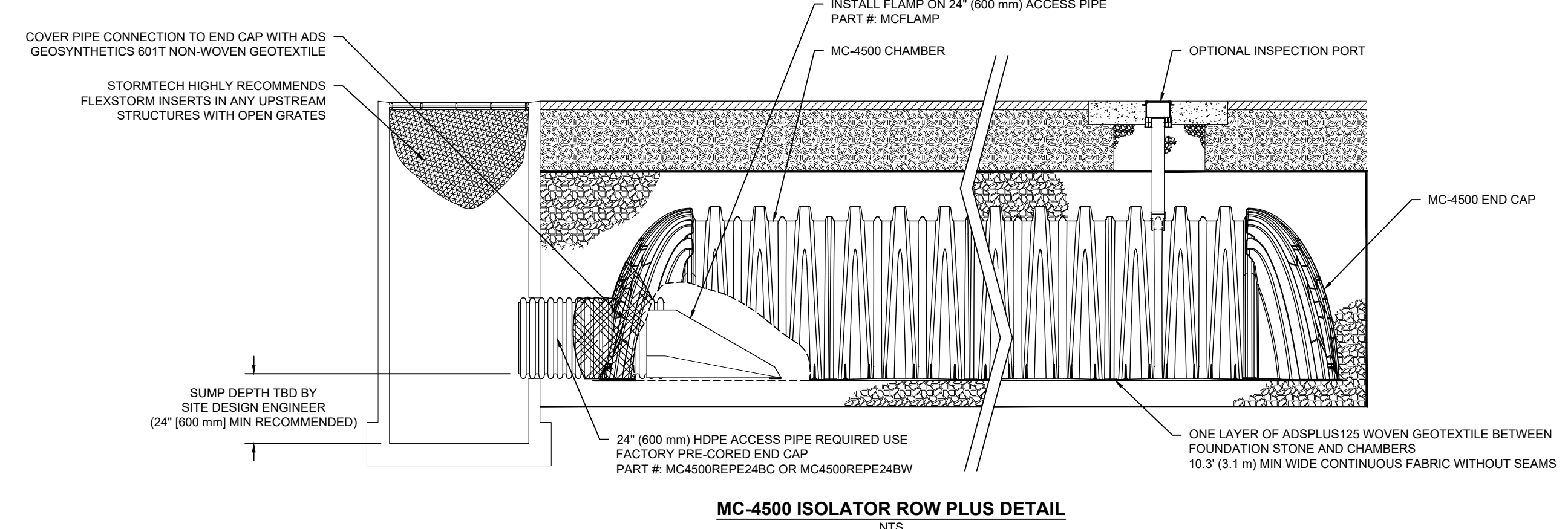
NOTE: ALL DIMENSIONS ARE NOMINAL

**INSPECTION & MAINTENANCE**

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
    - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
    - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
  - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
  - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
    - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
  - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
    - MIRRORS OR POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
    - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
  - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
  - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
  - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS, RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



**MC-4500 ISOLATOR ROW PLUS DETAIL**

#	DATE	ISSUED
3	03/31/2026	REVISED PER PB
2	01/07/2026	REVISED PER PB
1	10/31/2025	REVISED PER PB

#	DATE	REVISION
3	03/31/2026	REVISED PER PB
2	01/07/2026	REVISED PER PB
1	10/31/2025	REVISED PER PB

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 03/31/2026

MICHAEL J. CALISE, P.E.  
 NEW YORK STATE LIC. NO. 074611

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 SCOHEN BROOKLYN LLC  
 95 SMITH HILL RD  
 AIRMONT, NY 10952

OWNER:  
 SCOHEN BROOKLYN LLC  
 95 SMITH HILL RD  
 AIRMONT, NY 10952

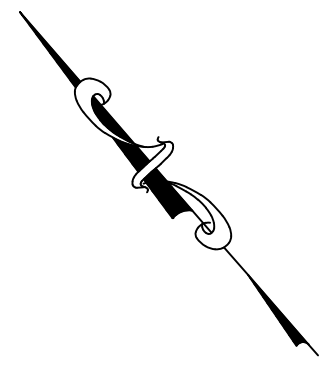
SHEET TITLE:  
**DETAILS**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
 SCOHEN BROOKLYN LLC

LOCATION:  
 156-160 WAYNE AVENUE, SUFFERN, NY 10901

JURISDICTION:<



**NOTE:**

- ① TO BE DEMOLISHED
- ② TO REMAIN
- ✕ TO BE DEMOLISHED

**LEGEND:**

- EX. PROPERTY LINE
- ⊙ EX. UTILITY POLE
- ✕ EX. CHAIN LINK FENCE
- EX. CONTOUR, MAJOR
- EX. CONTOUR, MINOR
- EX. CURB
- SOIL MAP

**NOTE:**

- THIS SURVEY DOES NOT PURPORT TO IDENTIFY, IF ANY, ENCROACHMENTS, WETLANDS, UTILITIES, SERVICE LINES OR STRUCTURES BELOW GROUND; PROPERTY SUBJECT TO DOCUMENTS OF RECORD.
- NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF N.Y. AS TIDELANDS.
- NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE LAND SURVEYOR FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.
- ONLY COPIES FROM THE ORIGINAL SURVEY MARKED WITH AN ORIGINAL PROFESSIONAL LAND SURVEYOR'S EMBOSSED OR PRINTED SEAL SHALL BE CONSIDERED VALID COPIES; SIGNATURE AND EMBOSSED OR PRINTED SEAL SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ADOPTED BY THE NEW YORK STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
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- OFFSETS SHOWN HEREON ARE NOT TO BE USED AS A BASIS FOR ANY CONSTRUCTION OF PERMANENT STRUCTURES I.E. BUILDINGS, SHEDS, FENCES, ETC.
- SUBJECT TO EASEMENTS & RESTRICTIONS OF RECORD, IF ANY.
- THE HORIZONTAL DATUM IS BASED ON NAD83, NY-EAST AND THE VERTICAL DATUM IS BASED ON NAVD83.
- THE SURVEY SHOWN HEREIN, AND/OR TOPOGRAPHY WAS MAPPED UTILIZING TRADITIONAL SURVEY METHODS, ROBOTICS, RECTIFIED ORTHO PHOTOGRAPHY, PHOTOGRAMMETRIC MAPPING, REMOTE SENSING, AIRBORNE MOBILE LASER SCANNING AND OTHER SIMILAR PRODUCTS, TOOLS OR TECHNOLOGIES AS THE BASIS FOR SHOWING THE LOCATION OF CERTAIN FEATURES (EXCLUDING BOUNDARIES) WHERE GROUND MEASUREMENTS WERE NOT OTHERWISE NECESSARY TO LOCATE THOSE FEATURES TO AN APPROPRIATE AND ACCEPTABLE ACCURACY RELATIVE TO A NEARBY BOUNDARY ACCORDING TO CURRENT ALTA/NSPS STANDARDS.

**DESCRIPTION:**  
BEING KNOWN AS SECTION 48.69, BLOCK 1, LOT 1 AND SECTION 848.69, BLOCK 1, LOT 1.1 & 1.2 AS SHOWN ON THE OFFICIAL TAX MAPS FOR THE VILLAGE OF SUFFERN, ROCKLAND COUNTY, NEW YORK.

**CERTIFIED TO:**  
WAYNE PROJECT LLC,  
SCOHEN BROOKLYN LLC,  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
ROBERT L. REDA, ESQ.

SLOPES TABLE AREA (COMBINED LOT)				
NUMBER	SLOPE RANGE	AREA PERCENTAGE	HATCH	AREA COVERAGE
1	0% TO 30%	80.85%		106,865.64± S.F. 2.45±ACRES
2	30% TO 50%	16.17%		21,326.69± S.F. 0.49±ACRES
2	50% TO 100%	3.02%		3,985.21± S.F. 0.09±ACRES

**NOTES:**

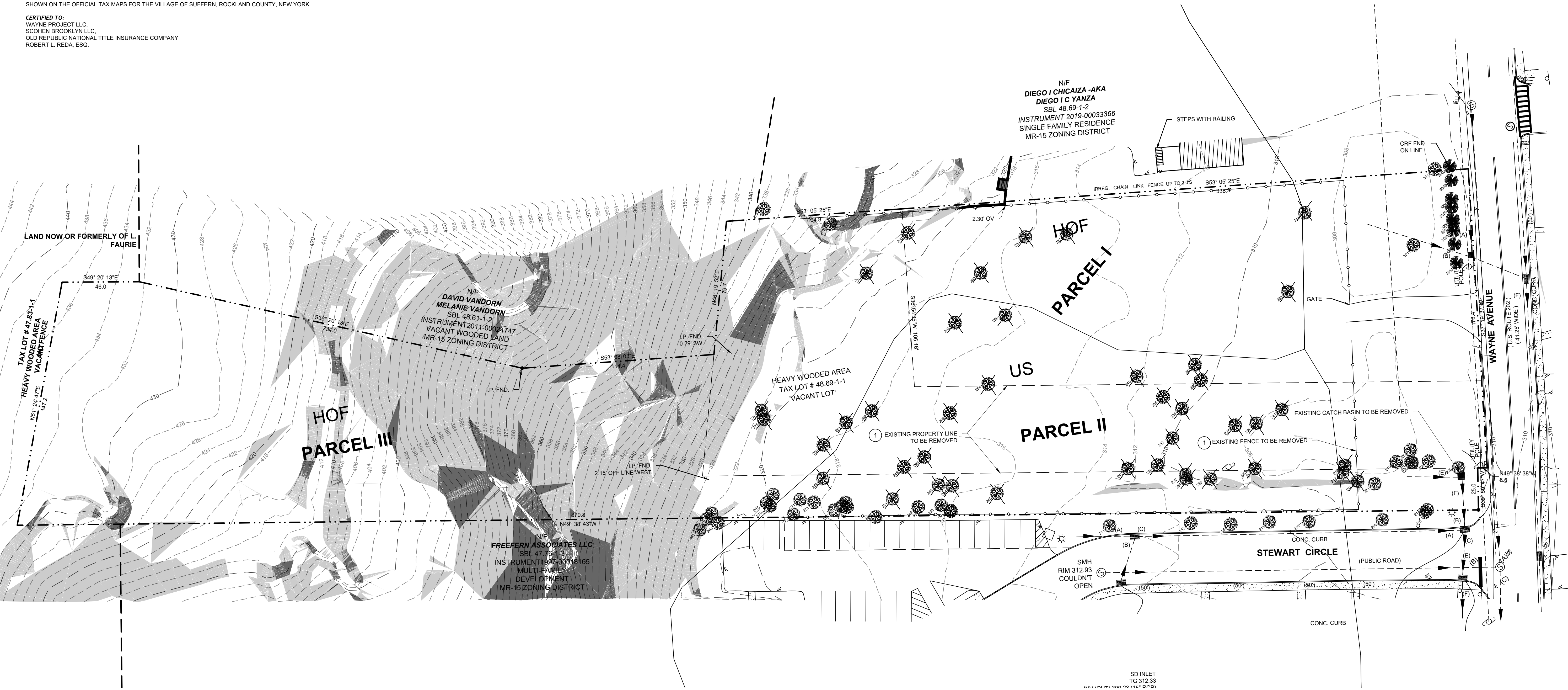
- A TREE SCHEDULE IS PROVIDED, BUT THE EXISTING TREES ARE NOT LABELED. NUMBER THE TREES ON THE SITE PLAN TO MATCH THE TREE SCHEDULE PROVIDED ALONG WITH A NOTE IN THE SCHEDULE WHETHER THE TREE IS TO REMAIN OR BE REMOVED.
- SHOW THE PROPOSED LIMIT OF DISTURBANCE AND CALL OUT THE TOTAL AREA TO BE DISTURBED. THE AREA OF DISTURBANCE SHOULD INCLUDE ANY DISTURBANCE WITHIN THE ROW AND ANY DISTURBANCE AS A RESULT OF REGRADING.

POINT #	TREE TYPE	WIDTH	TO BE	
				DEMOLISHED
208	MAPLE TREE	13"		
209	MAPLE TREE	13"		
210	MAPLE TREE	14"		
211	MAPLE TREE	15"		
212	MAPLE TREE	12"		
213	MAPLE TREE	10"		
214	SHRUB TREE	6"		
215	SHRUB TREE	6"		
216	MAPLE TREE	18"	YES	
217	ASH TREE	10"	YES	
218	ASH TREE	10"	YES	
219	ASH TREE	8"		
220	ASH TREE	8"		
221	ASH TREE	8"		
222	ASH TREE	8"		
223	MAPLE TREE	14"		
225	ASH TREE	8"		
226	ASH TREE	12"		
227	ASH TREE	12"	YES	
228	MAPLE TREE	12"	YES	
229	MAPLE TREE	12"	YES	

POINT #	TREE TYPE	WIDTH	TO BE	
				DEMOLISHED
230	OAK TREE	12"	YES	
231	OAK TREE	12"	YES	
232	OAK NFG	18"	YES	
233	MAPLE TREE	16"	YES	
234	MAPLE TREE	16"	YES	
235	SPRUCE TREE	16"	YES	
236	SPRUCE TREE	15"	YES	
237	SPRUCE TREE	16"	YES	
238	JAP MAPLE TREE	16"	YES	
239	OAK TREE	16"	YES	
240	MAPLE TREE	13"	YES	
241	MAPLE TREE	18"	YES	
242	ASH TREE	12"	YES	
243	MAPLE TREE	24"	YES	
245	ASH TREE	12"	YES	
246	ASH TREE	12"	YES	
247	WILLOW TREE	15"		
248	WILLOW TREE	15"	YES	
249	MAPLE TREE	24"		
252	WILLOW TREE	12"		
253	WILLOW TREE	12"	YES	

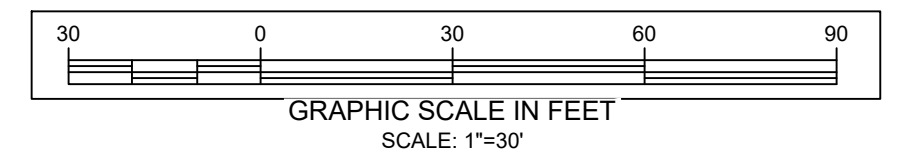
POINT#	TREE TYPE	WIDTH	TO BE	
				DEMOLISHED
258	MAPLE TREE	8"	YES	
259	MAPLE TREE	8"	YES	
260	MAPLE TREE	8"		
261	ASH TREE	6"		
262	ASH TREE	12"		
263	ASH TREE	6"		
264	ASH TREE	6"		
265	ASH TREE	6"		
266	ASH TREE	6"		
267	ASH TREE	6"		
268	ASH TREE	8"		
269	ASH TREE	8"		
270	MAPLE TREE	10"		
271	MAPLE TREE	10"		
272	MAPLE TREE	10"		
273	MAPLE TREE	10"		
274	ASH TREE	4"		
275	OAK TREE	20"	YES	
276	MAPLE TREE	12"	YES	
277	ASH TREE	14"		
278	MAPLE TREE	12"		
279	ASH TREE	14"	YES	
280	MAPLE TREE	14"	YES	

POINT#	TREE TYPE	WIDTH	TO BE	
				DEMOLISHED
281	WILLOW TREE	16"	YES	
282	WILLOW TREE	16"	YES	
283	ASH TREE	14"	YES	
284	OAK TREE	15"	YES	
285	MAPLE TREE	15"	YES	
286	SPRUCE TREE	18"	YES	
287	SPRUCE TREE	14"	YES	
288	BIRCH TREE	12"	YES	
289	BIRCH TREE	12"	YES	
293	ASH TREE	6"		
294	ASH TREE	6"	YES	
295	MAPLE TREE	8"	YES	
3002	CONIFEROUS TREE	18"		
3003	CONIFEROUS TREE	18"		
3004	CONIFEROUS TREE	18"		
3005	CONIFEROUS TREE	24"		
3006	CONIFEROUS TREE	8"		
3007	CONIFEROUS TREE	12"		
3008	CONIFEROUS TREE	12"		
3009	CONIFEROUS TREE	18"		
3010	CONIFEROUS TREE	18"		
3011	DECIDUOUS TREE	12"		
3012	DECIDUOUS TREE	12"		



**NOTE:**  
ALL LOTS TO BE MERGED.

**EXISTING PLAN**  
SCALE - 1" = 30'



#	DATE	ISSUED
3	03/31/2026	REVISED PER PB
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03/31/2026  
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MICHAEL J. CALISE, P.E.  
NEW YORK STATE LIC. NO. 074611

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95 SMITH HILL RD  
AIRMONT, NY 10952

OWNER:  
SCOHEN BROOKLYN LLC  
95 SMITH HILL RD  
AIRMONT, NY 10952

SHEET TITLE:  
**EXISTING PLAN**

PROJECT TITLE:  
**WAYNE AVENUE LOW RISE TOWNHOUSES**

LANDS OF:  
**SCOHEN BROOKLYN LLC**

LOCATION:  
**156-160 WAYNE AVENUE, SUFFERN, NY 10901**

JURISDICTION:  
**VILLAGE OF SUFFERN  
TOWN OF RAMAPO  
COUNTY OF ROCKLAND  
STATE OF NEW YORK**

TAX LOT:  
**SECTION 48.69 BLOCK 1 LOTS 1, 1.1 & 1.2**

LOT AREA:  
**3.0343±ACRES 132,177.54 SQ.FT.**

DRAWN BY: SCALE: PROJECT NO.:  
MJC 1"=30' 25-079

CHECKED BY: ORIGINAL DATE SHEET:  
JJ 07/15/2025

APPROVED BY: LAST REVISED:  
MJC 03/31/2026